



# FORT MILL

## TOWN OF FORT MILL PLANNING COMMISSION MEETING

September 22, 2015  
112 Confederate Street  
7:00 PM

### AGENDA

#### CALL TO ORDER

#### APPROVAL OF MINUTES

1. Regular Meeting: August 25, 2015 *[Pages 3–6]*

#### NEW BUSINESS ITEMS

1. **Master Road Name List: Masons Bend** *[Pages 7–11]*

Request from Crescent Masons Bend LLC to approve a master road name list for the Masons Bend subdivision

2. **Rezoning Request: Harris Teeter Properties LLC** *[Pages 12–16]*

An ordinance amending the Zoning Map of the Town of Fort Mill so as to change the zoning designation for York County Tax Map Numbers 020-12-01-120 and 020-12-01-202, containing approximately 32.1 +/- acres located at the intersection of Fort Mill Parkway and S Dobys Bridge Road, from PND Planned Neighborhood Development to HC Highway Commercial

3. **Annexation Request: Culp Property** *[Pages 17–26]*

An ordinance annexing York County Tax Map Number 728-00-00-011

4. **MXU Concept Plan & Dev. Cond.: Carolina Orchards Culp MXU** *[Pages 27–41]*

An ordinance adopting a Mixed Use Concept Plan & Development Conditions for the Carolina Orchards “Culp” MXU

5. **Preliminary Plat: Kimbrell Oaks** *[Pages 42–45]*

Request from EMH&T, submitted on behalf of Ryland Homes, to review and approve a preliminary plat for the Kimbrell Oaks subdivision

6. **Appearance Review: Traditions at Fort Mill** *[Pages 46–64]*

Request from Gross Builders to grant commercial appearance review approval for the Traditions at Fort Mill (formally River Crossing Senior Living) located at the corner of Rivercrossing Drive and Sutton Road

7. **Appearance Review: Holiday Inn Express** *[Pages 65–72]*

Request from Navkaar Investment Corporation to grant commercial appearance review approval for a proposed Holiday Inn Express located at 1655 Carolina Place Drive

**ITEMS FOR INFORMATION / DISCUSSION**

1. **Comprehensive Plan Update: Future Land Use Map Amendments**

2. **Subdivision Plat Updates**

3. **UDO Update**

**ADJOURN**

**MINUTES  
TOWN OF FORT MILL  
PLANNING COMMISSION MEETING  
August 25, 2015  
112 Confederate Street  
7:00 PM**

Present: Ben Hudgins, Hynek Lettang, John Garver, Chris Wolfe, Tom Petty, Jay McMullen, Planning Director Joe Cronin, Assistant Planner Chris Pettit

Absent: James Traynor

Guests: Mack Cross (WSB Retail Partners), Daniel Senden (WSB Retail Partners), Joe Clark (A Lock-It Self Storage), Mitch Clark (A Lock-It Self Storage), Dee Talkington (Property Owner), John Talkington (Property Owner), Constantine Vrettos (One on One Design), Scott Wells (Diversified Enterprises), Kevin Granelli (Taylor Morrison), Brandon Pridemore (R. Joe Harris & Associates), Al Rogat

Vice Chairman Hudgins called the meeting to order at 7:00 pm and welcomed everyone in attendance.

Planning Director Cronin stated that Chairman Traynor was recovering from a medical procedure and would be unable to attend the meeting. Vice Chairman Hudgins would serve as acting chair for the meeting.

Mr. McMullen made a motion to approve the minutes from the July 28, 2015, meeting, with a second by Mr. Garver. The minutes were approved by a vote of 6-0.

**OLD BUSINESS ITEMS**

1. **Commercial Appearance Review: A Lock-It Self Storage:** Assistant Planner Pettit provided a brief overview of the revised drawings submitted by the applicant. Several different renderings were reviewed and discussed by the Planning Commission. The applicants, Joe and Mitch Clark, provided additional information in support of the request. The consensus of the commission settled on the elevation identified as “Revision A,” with some minor modifications. Mr. Petty made a motion to approve the design included in Revision A, to include decorative lights, awnings and stacked stone. Mr. Lettang seconded the motion. The motion was approved by a vote of 5-0.
2. **Commercial Appearance Review: Multi-Tenant Commercial Building:** Assistant Planner Pettit noted that this multi-tenant building had previously received appearance review approval; however, the applicant was now proposing to rehabilitate the existing structure in front of the new Walmart Neighborhood Market, rather than tear down and replace it. The square footage would remain the same, but the building footprint and some design elements would be changed from the original design. Daniel Senden and Mack Cross provided additional information in support of the request. Mr. McMullen provided

comments in regards to the landscaped island at the front of the building. Mr. Petty inquired as to the structural integrity of the existing building. Mr. Hudgins stated that he would like to see some brick pattern work included to restore some of the original character of the building. Mr. Wolfe discussed the possibility of varying the types of awnings along each frontage of the building. Mr. Wolfe made a motion to approve the modified design, with the following notes and conditions: the building design and materials shall allow for maximum deviation and relief along the building façade; the awnings shall be varied from the original design to include metal awnings on the front and rear brick sections; and brick detailing shall be included for the purpose of enhancing the character and relief of brick wall sections. Mr. Garver seconded the motion. The motion was approved by a vote of 6-0.

- 3. Commercial Appearance Review: Sleep Inn:** Assistant Planner Pettit provided an overview of the changes from the original design, which was previously reviewed and deferred by the Planning Commission. These included changes to the building elevation, design, materials and site plan. Constantine Vrettos provided additional information on behalf of the applicant. Mr. Hudgins questioned why an internal point of connectivity was not provided to the neighboring parcel. Mr. Vrettos stated that the applicant had attempted to work with the neighboring property owner to coordinate an internal connection point, but the neighboring property owner was not interested at this time. The parking area was designed to include a location where a logical connection could be made in the future, if the neighboring property was developed at a later date. Mr. McMullen suggested that the pedestrian pathway should be located closer to the future restaurant side of the property, rather than the hotel side, which is close to I-77. Mr. Pettit noted that a couple elements would need additional review, including retaining wall designs, stamped asphalt areas, and pedestrian lighting. He added that the sidewalks adjacent to the hotel were 6' rather than the 8' required by the COD-N, but this was a minor change that staff felt still met the intent of the overlay district. Mr. Wolfe made a motion to approve the modified design, with the following notes and conditions: a pervious fire turnaround area shall be included, as requested by the Fire Department; the retaining wall design, stamped asphalt and lighting designs shall require subsequent review and approval; sidewalk easements shall be granted in areas where the sidewalk must cross onto the property to accommodate grade changes; the sidewalk connection shall be shifted east on the property toward the restaurant side, and the existing connection point shall be converted to a landscaped island; and the 6' sidewalk adjacent to the hotel was determined to meet the intent of the overlay district of providing safe pedestrian access to the future hotel. Mr. Garver seconded the motion. The motion was approved by a vote of 6-0.

## **NEW BUSINESS ITEMS**

- 1. Annexation Request: Talkington Property:** Planning Director Cronin provided an overview of the request, the purpose of which was to review and provide a zoning recommendation for an annexation request for 161 acres on S Dobys Bridge Road. Planning Director Cronin reminded commission members that this request had initially been reviewed in 2014, but was later withdrawn after concerns were raised about potential traffic impact on Dobys Bridge Road. Planning Director Cronin stated that staff still had

concerns relating to traffic impact, and recommended deferral of the annexation request until a traffic study could be performed by the applicant. He added that the property was located in an area designated on the future land use map as “low density residential,” with a recommendation of two or fewer homes per acre. Though a proposed development agreement would limit overall density at 2.01 units per acre, the requested zoning designation of R-5, with a minimum of 5,000 square foot lots, was not necessarily designed as a low density district, and perhaps R-10 or R-15 would be better suited for this area. Kevin Granelli of Taylor Morrison spoke on behalf of the applicant. Mr. Granelli stated that the applicant was proposing to donate a 23 acre site to the town, and that the flexibility offered by the R-5 designation would allow the developer to offset the lost density from those 23 acres elsewhere on the property. Mr. Granelli requested that the planning commission vote on the request, and for any concerns or conditions to be addressed prior to consideration by town council. Mr. Garver made a motion to defer consideration of the request until a traffic impact analysis was completed and submitted for review. Mr. Lettang seconded the motion. The motion to defer was approved by a vote of 6-0.

## **ITEMS FOR INFORMATION / DISCUSSION**

- 1. Impact Fee Ordinance Update:** Planning Director Cronin stated that council had given final reading approval to the impact fee ordinance and CIP on August 24th. The final discount rates approved by council were 10% for Parks & Recreation, 50% for Fire Protection and Municipal Facilities and Equipment, and 100% for Transportation. The effective date for the impact fee ordinance was set as October 1, 2015.
- 2. Rezoning Request: 113 Railroad Avenue:** Assistant Planner Pettit stated that the rezoning request for 113 Railroad Avenue has been withdrawn. The applicant submitted an appeal to the Board of Zoning Appeals regarding the classification of a “print shop,” as recommended by the Planning Commission. The BOZA voted to overturn staff’s interpretation, which would allow Rustic Label to expand in its existing location without rezoning the property from Local Commercial to General Industrial.
- 3. Pending Appearance Review Request:** Assistant Planner Pettit informed members of the commission that staff had received a set of drawings for a proposed Holiday Inn Express on Carolina Place Drive. A rendering of the proposed building was shown and discussed. Planning Director Cronin and Assistant Planner Pettit expressed concern that the proposed building, as submitted, appeared to be out of character with the surrounding area. While this was not a formal review of the building design, staff did want to receive some initial feedback from the commission. The general consensus of the commission was the building design was inconsistent with surrounding properties. Assistant Planner Pettit stated that he would share these concerns with the applicant, and would request modifications in advance of the formal appearance review next month.

There being no further business, the meeting was adjourned at 9:01 pm.

Respectfully submitted,

Joe Cronin  
Planning Director

**Planning Commission Meeting  
September 22, 2015  
New Business Item**

**Request to Approve Road Names: Kingsley**

Request from Crescent Masons Bend LLC to approve a master road name list for the Masons Bend subdivision

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**Background / Discussion**

The Planning Commission is asked to review and approve a master road name list for the Masons Bend subdivision, which includes two phases: the “Kanawha Tract,” annexed in 2008, and the “Suttonview Tract,” annexed in 2014. While the two tracts have separate development agreements/conditions, the subdivision is now under the common ownership of Crescent Masons Bend LLC.

Though the MXU ordinance does not require full Planning Commission approval of the preliminary or final plats (as long as the proposed plan is consistent with the MXU and zoning ordinances, as well as the project’s development conditions), Section 6-29-1200(A) of the SC Code of Laws requires the following:

A local planning commission created under the provisions of this chapter shall, by proper certificate, approve and authorize the name of a street or road laid out within the territory over which the commission has jurisdiction. It is unlawful for a person in laying out a new street or road to name the street or road on a plat, by a marking or in a deed or instrument without first getting the approval of the planning commission. Any person violating this provision is guilty of a misdemeanor and, upon conviction, must be punished in the discretion of the court.

As a result, Planning Commission approval is required to authorize new road names within the subdivision. Given the size and scope of the project, staff is requesting that the Planning Commission approve a master road name list. As long as the developer uses the names from the approved master list, this will prevent the need to bring each phase to the Planning Commission for the simple task of approving street names. Any addition or modification to this list, however, would require subsequent approval from the Planning Commission prior to recording.

Preliminary plats for Masons Bend (Kanawha Tract) and Masons Bend (Suttonview Tract) have been previously approved by staff, and final plats for Masons Bend Phase 1, Map 1, are currently pending review.

The proposed street names for Masons Bend are listed below:

Artisan Ln	Inspired Way	Saunter Ct
Bee Balm Trl	Issa Ct	Sensibility Cir
Big Bluff Trace	June Bug Ln	Six String Ct

Bluestem Dr  
Bucks Quarry Ct  
Cast Iron Ct  
Crawfish Dr  
Fish Story Ct  
Flatwater St  
Freshwater Dr  
Gray Hook Dr  
Half Pint Loop

Kayak Ct  
Lazy Day Ct  
Masons Bend Dr  
Oarman Ct  
Oxbow Ct  
Patchwork Ct  
Porch Wisdom Ct  
Rock Skip Way  
Rocking Chair Ln

Small Batch Path  
Splendid Ct  
Stone Ct  
Suttonview Rd  
Sweet Cicely Ln  
Therns Ferry Dr  
Upcountry Ct  
Wateran Way  
Weir Ct

**Recommendation**

Staff has submitted these names to the York County Addressing Office for review and approval. The county has approved and all reserved all requested names.

Staff recommends in favor of the request to approve a master list of street names for the commercial portion of the Kingsley development.

Joe Cronin  
Planning Director  
September 18, 2015

**From:** Moore, Jeanne [mailto:jeanne.moore@yorkcountygov.com]  
**Sent:** Wednesday, September 16, 2015 8:52 AM  
**To:** Joe Cronin <jcronin@fortmillsc.gov>; Grooms, Cynthia <cynthia.grooms@yorkcountygov.com>  
**Subject:** RE: Street Names - Masons Bend

They are on the reserved list for Masons Bend

Jeanne

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**From:** Joe Cronin [mailto:jcronin@fortmillsc.gov]  
**Sent:** Tuesday, September 15, 2015 3:14 PM  
**To:** Grooms, Cynthia; Moore, Jeanne  
**Subject:** Street Names - Masons Bend

Cynthia & Jeanne,

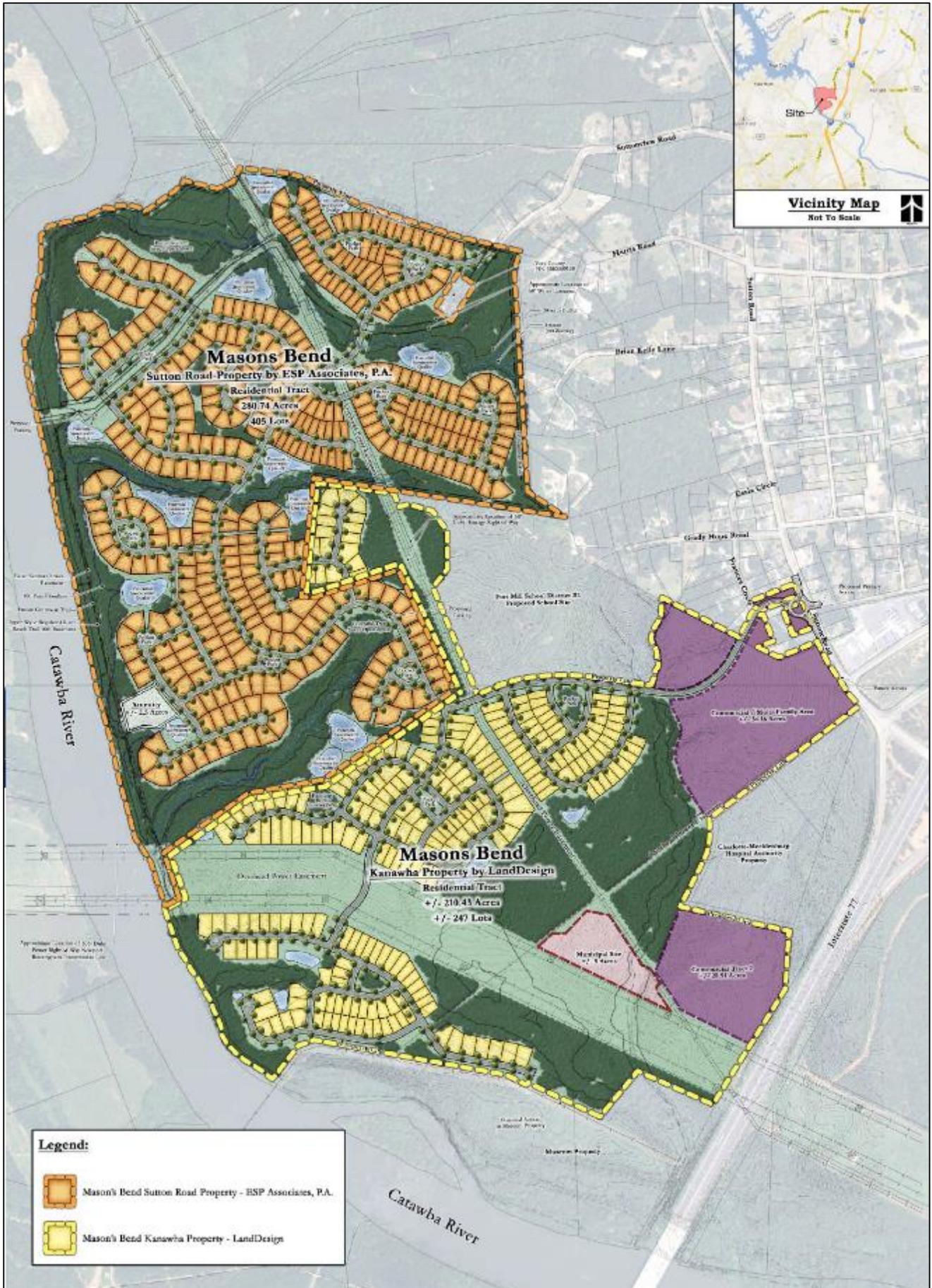
Can you confirm that the following street names are available for use within the Masons Bend subdivision?

Artisan Ln	Oarman Ct
Bee Balm Trl	Oxbow Ct
Big Bluff Trace	Patchwork Ct
Bluestem Dr	Porch Wisdom Ct
Bucks Quarry Ct	Rock Skip Way
Cast Iron Ct	Rocking Chair Ln
Crawfish Dr	Saunter Ct
Fish Story Ct	Sensibility Cir
Flatwater St	Six String Ct
Freshwater Dr	Small Batch Path
Gray Hook Dr	Splendid Ct
Half Pint Loop	Stone Ct
Hidden Shoals Rd	Suttonview Rd
Inspired Way	Sweet Cicely Ln
Issa Ct	Therns Ferry Dr
June Bug Ln	Upcountry Ct
Kayak Ct	Wateran Way
Lazy Day Ct	Weir Ct
Masons Bend Dr	

**Joseph M. Cronin**  
Planning Director  
Town of Fort Mill, SC  
112 Confederate Street

Fort Mill, SC 29715  
(803) 547-2116 (O)  
(803) 371-2281 (C)  
[jcronin@fortmillsc.gov](mailto:jcronin@fortmillsc.gov)

PLEASE NOTE: All email correspondence to and from this address may be subject to public disclosure under the South Carolina Freedom of Information Act pursuant to S.C. Code of Laws, §§ 30-4-10, et seq.



**Planning Commission Meeting  
September 22, 2015  
New Business Item**

**Rezoning Request: Harris Teeter Properties LLC**

An ordinance amending the Zoning Map of the Town of Fort Mill so as to change the zoning designation for York County Tax Map Numbers 020-12-01-120 and 020-12-01-202, containing approximately 32.1 +/- acres located at the intersection of Fort Mill Parkway and S Dobys Bridge Road, from PND Planned Neighborhood Development to HC Highway Commercial

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**Background / Discussion**

The town has received a rezoning application from Mary Hinson Limited Partnership, and Marshall Hinson, the owners of York County Tax Map Numbers 020-12-01-120 and 020-12-01-202, respectively. (Note: York County Tax Map Number 020-12-01-120 was subdivided earlier this year. A new tax map number has been assigned to the remaining portion that was removed from 020-12-01-120, so the annexation request will cover the entirety of both tax map numbers referenced above.) These two parcels, combined, contain a total of 32.1 +/- acres located at the intersection of Fort Mill Parkway and S Dobys Bridge Road. The property is currently under contract for sale to Harris Teeter Properties LLC, who is serving as applicant.

The applicant has requested a rezoning of the property from PND Planned Neighborhood Development to HC Highway Commercial. The majority of the property is currently vacant; however, a small portion has been leased to the Crossings Ministries for use as a church. If approved, the applicants intends to develop the property as a grocery-anchored neighborhood shopping center.

According to the zoning ordinance, the intent of the PND District is to allow for flexible combinations of residential and neighborhood-oriented commercial and professional uses within a single development. The PND district is geared primarily toward residential development, allowing no more than 10% of the project area to be developed for commercial use. PND projects must contain a minimum of 20 acres, and a specific development plan is generally adopted prior to development.

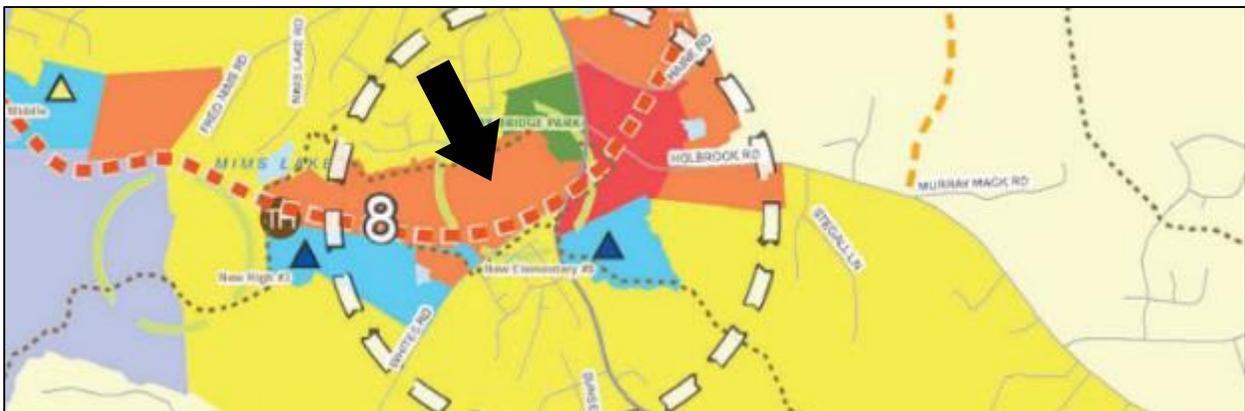
The HC Highway Commercial district, as recommended, allows a variety of commercial and office uses. Unlike the PND district, the HC district does not currently allow any residential uses, other than nursing and personal care facilities. The HC district requires a minimum lot area of 10,000 square feet, a 75' minimum lot width, and setbacks of 35' in the front and rear, and 10' on the sides. Because the property is located along the Fort Mill Southern Bypass, the majority of the site will also be subject to the requirements of the Corridor Overlay District (COD-N). The COD-N district will generally require larger buffers along residential property lines, enhanced architectural materials and design, pedestrian connectivity, and additional restrictions on permitted uses which would otherwise be allowed in the HC district (such as dealerships, check cashing establishments, etc.)

A draft rezoning ordinance is attached for review.

### **Recommendation**

The parcels are located at the center of Node 8 on the town's future land use map, last updated in January 2013. While the parcels are designated as "high density residential" on the future land use map, the vision for the node was defined in the comprehensive plan as follows:

Development in Node 8 will primarily be higher density residential near the center of the node and along the Fort Mill Southern Bypass, with neighborhood commercial near the intersection of Doby's Bridge Road and the Bypass, and medium density residential near the periphery including townhomes and apartments, transitions to single family detached homes to the east and south near the river.



In our opinion, the HC zoning designation would be consistent with the comprehensive plan, as neighborhood commercial centers are expressly envisioned as a future use within this node. Given the fact that there are over 5,000 new residential units planned to be built over the next ten years, we have no concerns with eliminating the ability to locate residential development on these parcels. Therefore, staff recommends in favor of the rezoning to HC.

We do have two additional items to note: 1) The existing church, which leases land from the Hinson family, would become a non-conforming use; and 2) A traffic impact analysis would be required to determine any off-site impacts and improvements prior to any development activities taking place.

Joe Cronin  
Planning Director  
September 18, 2015

**TOWN OF FORT MILL**  
APPLICATION FOR ZONING MAP AMENDMENT

APPLICANT(S): Harris Teeter Properties LLC

NAME	ADDRESS	PHONE NUMBER
Harris Teeter Properties LLC	PO Box 10100 Matthews NC 28106-0100	704-844-3100

*Scott H. Wippel*  
President



Area of Subject Property: \_\_\_\_\_ acres and/or \_\_\_\_\_ square feet

What is the CURRENT zoning for the parcel(s)? PND

What is the proposed zoning for the parcel(s)? HC

Does the applicant own all of the property within the zoning proposal? Under contract

State the proposed change and reason(s) for request: (Attach additional sheets if needed)

to allow for the development of a neighborhood, grocery anchored shopping center

As Owner(s) of the property described below, I/we request that our property be rezoned as indicated.

TAX MAP NUMBER	PROPERTY ADDRESS	OWNER	OWNER'S SIGNATURE
<i>portion of</i> 0201201120	1475 Ft. Mill Parkway	<i>Mary Hanson</i> Limited Partnership	<i>[Signature]</i>
0201201202	not assigned	<i>Marshall Hansen</i>	<i>[Signature]</i>

Please return application and fee to: Town of Fort Mill, PO Box 159, Fort Mill, SC 29716

STATE OF SOUTH CAROLINA  
TOWN COUNCIL FOR THE TOWN OF FORT MILL  
ORDINANCE NO. 2015-\_\_

AN ORDINANCE AMENDING THE ZONING MAP OF THE TOWN OF FORT MILL SO AS TO CHANGE THE ZONING DESIGNATION FOR YORK COUNTY TAX MAP NUMBERS 020-12-01-120 AND 020-12-01-202, CONTAINING APPROXIMATELY 32.1 +/- ACRES LOCATED AT THE INTERSECTION OF FORT MILL PARKWAY AND S DOBYS BRIDGE ROAD, FROM PND PLANNED NEIGHBORHOOD DEVELOPMENT TO HC HIGHWAY COMMERCIAL

Pursuant to the authority granted by the Constitution of the State of South Carolina and the General Assembly of the State of South Carolina, BE IT ENACTED BY THE TOWN COUNCIL FOR THE TOWN OF FORT MILL:

Section I. The Zoning Map of the Town of Fort Mill is hereby amended to change the zoning classification for York County Tax Map Numbers 020-12-01-120 and 020-12-01-202, containing approximately 32.1 acres located at the intersection of Fort Mill Parkway and S Dobys Bridge Road from PND Planned Neighborhood Development to HC Highway Commercial. A property map of the parcels subject to this rezoning ordinance is hereby attached as Exhibit A.

Section II. If any section, subsection, or clause of this Ordinance shall be deemed to be unconstitutional, or otherwise invalid, the validity of the remaining sections, subsections, and clauses shall not be affected thereby.

Section III. All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

Section IV. Effective Date. This ordinance shall be effective from and after the date of adoption.

**SIGNED AND SEALED** this \_\_\_\_ day of \_\_\_\_\_, 2015, having been duly adopted by the Town Council for the Town of Fort Mill on the \_\_\_\_ day of \_\_\_\_\_, 2015.

First Reading: September 28, 2015  
Public Hearing: October 12, 2015  
Second Reading: October 12, 2015

TOWN OF FORT MILL

\_\_\_\_\_  
Danny P. Funderburk, Mayor

LEGAL REVIEW

ATTEST

\_\_\_\_\_  
Barron B. Mack, Jr, Town Attorney

\_\_\_\_\_  
Dana Powell, Town Clerk

Exhibit A  
Property Map



**Planning Commission Meeting  
September 22, 2015  
New Business Item**

**Annexation Request: Culp Property**

An ordinance annexing York County Tax Map Number 728-00-00-011

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**Background / Discussion**

The town has received an annexation application from John Franklin, for York County Tax Map Number 728-00-00-011. This parcel contains approximately 30.94 acres located at 101 Hunter Oaks Lane. A property map and description are attached for reference.

The subject property is adjacent to parcels owned by the Pulte Home Corporation, Clear Springs Land Co., and Springland Inc. The neighboring parcels are included within “Tract 4 – Springfield Tract,” of the 2008 Development Agreement between the town and Clear Springs et al. A sketch plan and preliminary plat for the 632-unit Carolina Orchards project (to be developed by Pulte Homes as an age-restricted Del Webb community) have been approved for the neighboring parcels. The property is currently under contract for sale to Pulte Homes.

The subject property is currently zoned UD Urban Development per York County GIS. The county’s UD district allows for a variety of uses, including residential, commercial, manufacturing recreational and agricultural uses. Residential dwellings, including single family, multi-family, and modular homes, are permitted. Single family residential lots require a minimum of 10,000 square feet where public water and sewer are present, while townhomes require a minimum of 2,000 square feet per unit, and apartments require a minimum lot size of two acres.

The applicant has requested a zoning designation of MXU Mixed Use. The MXU district allows any mixture of permitted uses proposed by the applicant and approved by the town council. Such uses and densities must be defined and approved in project-specific development standards/conditions, or in a development agreement between the applicant and the town. Note: The proposed concept plan and development standards/conditions are included as a separate agenda item.

The minimum lot size for residential uses in the MXU district varies from 2,400 SF for residential “cottages,” to 1,100 SF per unit for townhouses, rowhouses and multi-family uses. Commercial, office, and civic uses have no minimum lot area, while industrial uses must be located on lots 20,000 SF or greater. The MXU district contains a minimum open space requirement of 20%, as well as a project edge buffer of 35’ along property lines adjacent to existing residential development.

In the concept plan and development conditions to be considered as part of the corresponding agenda item, the buyer (Pulte Homes) is proposing to incorporate the subject parcel into the larger master plan for the Carolina Orchards subdivision. The development conditions for the Culp tract would allow up to 90 additional single-family residential dwelling units (2.91 units per acre).

## **Recommendation**

The property is contiguous to the town limits and is, therefore, eligible for annexation.

The subject property is located within an area that has been designated as “Medium-Density Residential” on the Town of Fort Mill’s Future Land Use Map, last updated in January 2013. The comprehensive plan identifies “Medium Density” as 3-5 dwelling units per acre.



The Planning Department believes that the following should warrant additional discussion or consideration:

### **Density / Zoning Designation**

Though the proposed concept plan and development conditions contain only a single use (single-family detached residential units), the property is directly adjacent to MXU zoned parcels which are part of the larger Del Webb Carolina Orchards project (Pulte) and Springfield Town Center (Clear Springs). Though the surrounding parcels are covered by a separate development agreement, it would be logical for the Culp tract to carry the same zoning designation, and to be folded in to the larger master plan for the Carolina Orchards project.

The property could also be zoned R-5 Residential, which would similarly allow up to 3 dwelling units per acre (92 total) by right. The R-5 district is intended as a medium density zoning district, without a requirement to mix residential and non-residential uses.

### **Traffic Impact**

Staff would recommend in favor of an update to the Carolina Orchards traffic impact analysis to determine any off-site impact above and beyond that projected for the Carolina Orchards project.

### **Utility Impact**

The subject property is located in the county's service area, and would be served by the county's water and sewer system. Therefore, there would be no direct impact to the town's utility capacity.

As with all other projects, any upgrades necessary to serve the project would be borne by the applicant.

### **Fire Service**

The subject property is located approximately 5.1 miles (ordinary driving distance) from the town's fire station on Tom Hall Street. This would be outside the ISO recommended distance of 5 miles. The town's recently adopted CIP identifies a need for a new fire station in the Springfield Parkway corridor; however, there is no immediate timeline to begin construction. The property is located approximately 1.3 miles from the Flint Hill Fire Department; however, the town would have primary fire service responsibility.

### **School Impact**

The property is planned to contain age-restricted single-family housing, consistent with the remainder of the Carolina Orchards subdivision. While future homes will be subject to the School District's \$2,500 impact fee (\$225,000 total), as well as the school district's bond millage, these additional units are expected to have no enrollment impact for the district.

Based on the future land use map and recommendations from the 2013 Comprehensive Plan update, staff believes that the zoning designation requested (and accompanying concept plan) are consistent with previously adopted plans. Therefore, staff recommends in favor of annexation with a zoning designation of either MXU or R-5.

Joe Cronin  
Planning Director  
September 18, 2015

Date: August 19, 2015

Dennis Pieper  
Town Manager  
Town of Fort Mill  
PO Box 159  
Fort Mill, SC 29715

**Re: Request for Annexation- York County Tax Parcel Number 728-0000-011**

Dear Mr. Pieper:

As the owner of the property indicated below, I/we respectfully request that the Town of Fort Mill annex the property into the Town limits. I/we also request that the property be zoned upon annexation as indicated. Thank you for your consideration.

Property Address: **101 Hunter Oaks Lane, Fort Mill SC 29715**

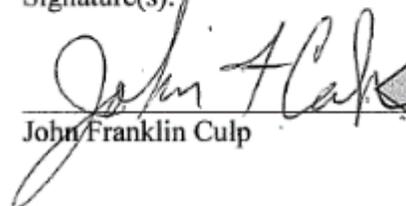
Parcel Number: **728-0000-011**

Total Acreage: **30.94 Acres**

Zoning Designation Requested: **MXU**

Property Owners: **John Franklin Culp**

Signature(s):

  
John Franklin Culp

SIGN HERE

Property Map





STATE OF SOUTH CAROLINA )  
 )  
COUNTY OF YORK )

**ORDINANCE NO. 2015-\_\_\_**  
**AN ORDINANCE ANNEXING YORK COUNTY**  
**TAX MAP NUMBER 728-00-00-011**

WHEREAS, a proper petition was submitted to the Fort Mill Town Council on September 9, 2015, by John Franklin Culp, (the “Property Owner”), requesting that York County Tax Map Number 728-00-00-011, such parcel being owned fully by the Property Owner, be annexed to and included within the corporate limits of the Town of Fort Mill under the provisions of S.C. Code Section 5-3-150(3); and

WHEREAS, the Planning Commission of the Town of Fort Mill, in a duly called meeting on September 33, 2015, made its recommendation in favor of annexation, and that upon annexation, the aforesaid area shall be zoned under the Town’s Zoning Code, as follows: MXU Mixed Use; and

WHEREAS, a public hearing was advertised and held at 7:00 pm on October 12, 2015, during a duly called regular meeting of the Town Council of the Town of Fort Mill; and

WHEREAS, Section 5-3-150(3) of the Code of Laws of the State of South Carolina, as amended, provides that any area or property which is contiguous to a municipality may be annexed to the municipality by filing with the municipal governing body a petition signed by all persons owning real estate in the area requesting annexation. Upon the agreement of the governing body to accept the petition and annex the area, and the enactment of an ordinance declaring the area annexed to the municipality, the annexation is complete; and

WHEREAS, using the definition of “contiguous” as outlined in S.C. Code Section 5-3-305, the Town Council has determined that the above referenced property is contiguous to property that was previously annexed into the corporate limits of the Town of Fort Mill; and

WHEREAS, the Town Council has determined that annexation would be in the best interest of both the property owners and the Town of Fort Mill;

NOW, THEREFORE, BE IT ORDAINED by the Town Council of the Town of Fort Mill in Council assembled:

SECTION I. Annexation. It is hereby declared by the Town Council of the Town of Fort Mill, in Council assembled, that the incorporated limits of the Town of Fort Mill shall be extended so as to include, annex and make a part of said Town, the described area of territory above referred to, being more or less 30.94 acres, the same being fully described in Exhibit “A” attached hereto, and contiguous to land already within the Town of Fort Mill. Pursuant to S.C. Code Section 5-3-110, this annexation shall include the whole or any part of any street, roadway, or highway abutting the above referenced property, not exceeding the width thereof, provided such street, roadway or highway has been accepted for and is under permanent public maintenance by the Town of Fort Mill, York County, or the South Carolina Department of Transportation.

SECTION II. Zoning Classification of Annexed Property. The above-described property, upon annexation into the corporate limits of the Town of Fort Mill, shall be zoned, as follows: MXU Mixed Use.

SECTION III. Voting District. For the purpose of municipal elections, the above-described property, upon annexation into the incorporated limits of the Town of Fort Mill, shall be assigned to and made a part of Ward Two (2).

SECTION IV. Notification. Notice of the annexation of the above-described area and the inclusion thereof within the incorporated limits of the Town of Fort Mill shall forthwith be filed with the Secretary of State of South Carolina (SCSOS), the South Carolina Department of Public Safety (SCDPS), and the South Carolina Department of Transportation (SCDOT), pursuant to S.C. Code § 5-3-90(E).

SECTION V. Severability. If any section, subsection, or clause of this ordinance shall be deemed to be unconstitutional or otherwise invalid, the validity of the remaining sections, subsections, and clauses shall not be affected thereby.

SECTION VI. Effective Date. This ordinance shall be effective from and after the date of adoption.

**SIGNED AND SEALED** this \_\_\_\_ day of \_\_\_\_\_, 2015, having been duly adopted by the Town Council for the Town of Fort Mill on the \_\_\_\_ day of \_\_\_\_\_, 2015.

First Reading: September 28, 2015  
Public Hearing: October 12, 2015  
Second Reading: October 12, 2015

TOWN OF FORT MILL

\_\_\_\_\_  
Danny P. Funderburk, Mayor

LEGAL REVIEW

ATTEST

\_\_\_\_\_  
Barron B. Mack, Jr, Town Attorney

\_\_\_\_\_  
Dana Powell, Interim Town Clerk

## EXHIBIT A

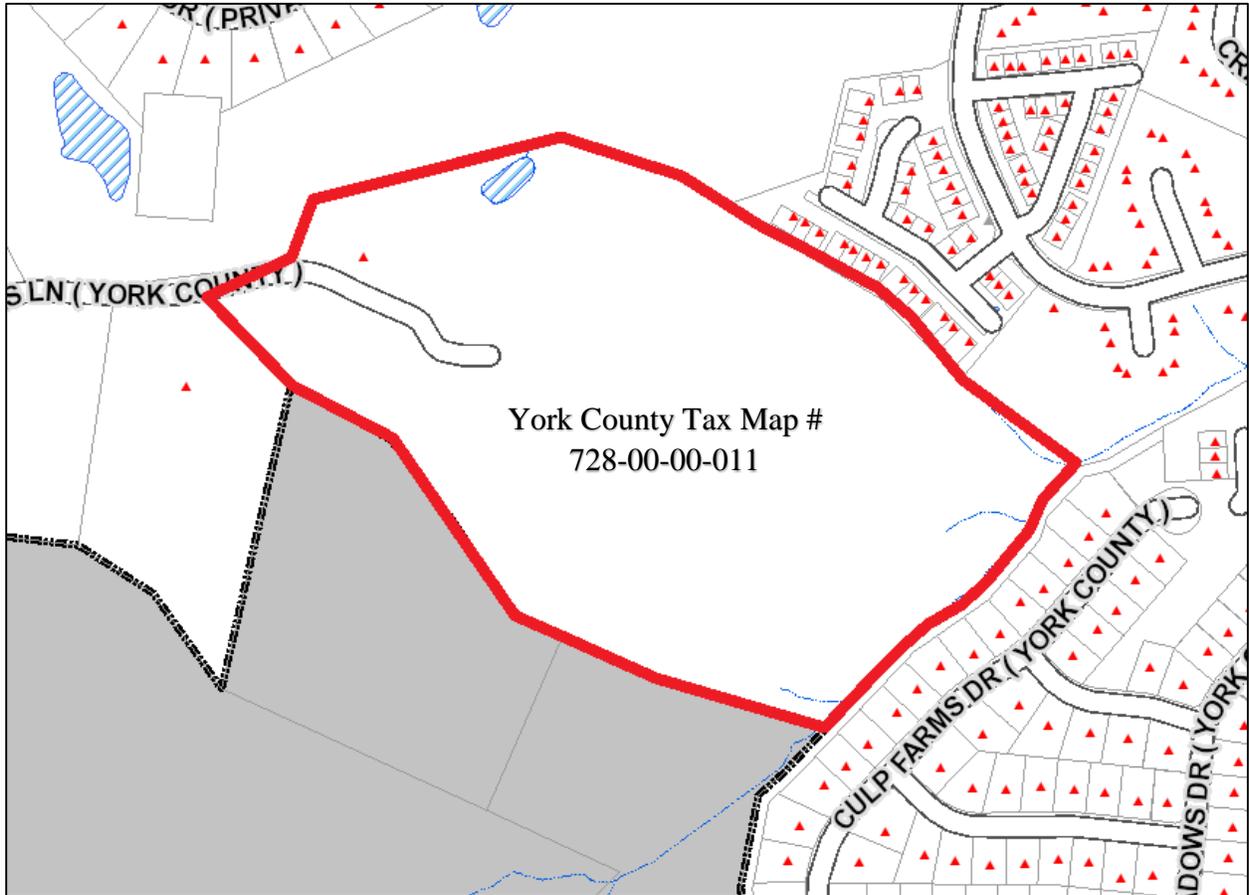
### Property Description

All those certain pieces, parcels or tracts of land lying, being and situate in Fort Mill Township, County of York, State of South Carolina, containing 30.94 acres, more or less, containing all the property shown in the map attached as Exhibit B, and being more particularly described as York County Tax Map Number 728-00-00-011.

Pursuant to S.C. Code Section 5-3-110, this annexation shall include the whole or any part of any street, roadway, or highway abutting the above referenced property, not exceeding the width thereof, provided such street, roadway or highway has been accepted for and is under permanent public maintenance by the Town of Fort Mill, York County, or the South Carolina Department of Transportation.

EXHIBIT B

Property Map  
York County Tax Map # 728-00-00-011



**Planning Commission**  
**September 22, 2015**  
**New Business Item**

**MXU Concept Plan & Development Conditions: Carolina Orchards “Culp” MXU**

An ordinance adopting a Mixed Use Concept Plan & Development Conditions for the Carolina Orchards “Culp” MXU Project

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**Background / Discussion**

The Planning Commission is asked to consider a mixed use concept plan and development conditions for York County Tax Map Number 728-00-00-011. These parcels contain a total of 30.94 acres located at 101 Hunter Oaks Lane. The property owner, John Franklin Culp, has requested annexation of this parcel into the town limits with a zoning designation of MXU Mixed Use. The annexation request is listed as a separate action item on the agenda. The property is currently under contract for sale to the Pulte Group, who has been authorized by the property owner to serve on behalf of the applicant.

As shown in the attached concept plan and development conditions, the applicant is requesting approval to develop a maximum of 90 single-family residential dwelling units on the property (2.91 units per acre).

As required by the MXU ordinance, the concept plan includes a minimum of 20% open space. Additional development standards, including lot dimensions and setbacks, are shown in the proposed development conditions. Because the parcel is adjacent to property which will be developed as the Del Webb Carolina Orchards project, the applicant has requested the elimination of the MXU district’s 35’ perimeter buffer along this project edge. All other project edge’s will observe the minimum 35’ buffer requirement. The surrounding parcels are currently owned by Clear Springs Land Co. and Springland Inc., and are included as part of the 347 +/- acre “Tract 4 – Springfield Tract” covered by the 2008 development agreement between the town and Clear Springs et al.

New residential development on the property will be accessed internally from the Carolina Orchards development. Therefore, no additional access points have been shown.

The draft concept plan and development conditions requested by the applicant are attached for consideration. Large copies of the concept plan and development conditions will be available for review during the meeting.

**Recommendation**

As noted in the previous agenda item, the subject property is located within an area that has been designated as “Medium-Density Residential” on the Town of Fort Mill’s Future Land Use Map, last updated in January 2013. The comprehensive plan identifies “Medium Density” as 3-5

dwelling units per acre. The proposed density of 3.0 DUA is consistent with the recommendations of the 2013 Comprehensive Plan update.

The applicant recently completed a realignment of Hammond Road, and the old road section is currently in the process of abandonment. The applicant has also completed a traffic circle on York Southern Road, and will install a traffic signal at the intersection of York Southern Road and Old Nation Road, per the recommendations of a previously completed traffic study. Staff would recommend in favor of updating the existing traffic study for the Orchards project to determine whether any additional off-site improvements will be required, including possible construction of a cul-de-sac on Hunter Oaks Lane.

As mentioned in the annexation request, another possible concern is the distance between the property to the town's existing fire station. Another item which may be considered in the development conditions would be a phasing plan that delays construction to allow for construction of a fire station in the Springfield corridor.

Though the property does not include a non-residential use, we note that the subject parcel is directly adjacent to the Springs' "Springfield Tract," which allows up to 680 residential units and up to 290,000 SF of commercial development, per the 2008 development agreement. A portion of the Springfield Tract has been or will be sold to Pulte for development of the Carolina Orchards project. Therefore, staff recommends in favor of approval, noting the items referenced above.

Joe Cronin  
Planning Director  
September 18, 2015

**TOWN OF FORT MILL  
APPLICATION FOR ZONING MAP AMENDMENT**

**APPLICANT(S):**

NAME	ADDRESS	PHONE NUMBER
Cisco Garcia Pulte Group	11121 Carmel Commons Boulevard Suite 450, Charlotte, NC 28226	(704) 414-7007

**Area of Subject Property:** 30.94 acres and/or 1,347,746 square feet

**What is the CURRENT zoning for the parcel(s)?** UD - York County

**What is the proposed zoning for the parcel(s)?** MXU

**Does the applicant own all of the property within the zoning proposal?** No

**State the proposed change and reason(s) for request: (Attach additional sheets if needed)**

To allow development as permitted within the MXU zoning district standards consistent with the adjacent Carolina Orchards project.

**As Owner(s) of the property described below, I/we request that our property be rezoned as indicated.**

TAX MAP NUMBER	PROPERTY ADDRESS	OWNER	OWNER'S SIGNATURE
728000011	101 Hunter Oaks Lane Fort Mill, SC 29715	John Franklin Culp	See attached Joinder Agreement Form

Please return application and fee to: Town of Fort Mill, PO Box 159, Fort Mill, SC 29716

Tax Parcel ID: 728-0000-011

**Petitioner Joinder Agreement- Town of Fort Mill- Annexation & MXU Rezoning**

The undersigned, as the owner of the parcel of land located at 101 Hunter Oaks Lane in York County, South Carolina that is designated as Parcel Identification Number 728-0000-011 on the York County Tax Map and which is the subject of the attached Annexation Request & MXU Rezoning, hereby join and give permission to Pulte Homes to request and file this Annexation Request & MXU Rezoning with the Town of Fort Mill for the Parcel referenced above.

This 2 day of September 2015  
(day) (month)

By: John F. Culp   
(Owner Signature)

John Franklin Culp  
101 Hunter Oaks Lane  
Fort Mill SC 29715

South  
County of York

John F. Culp, appearing before the undersigned  
Name of Property Owner (printed)

Notary and being duly sworn, says that:  
1. I am the owner of the property described above  
2. All statements above are true and correct

Property Owners Signature  
Sworn to (or affirmed) and subscribed before me this the 2 day of September, 2015.

(Official Seal)

SWAN W ANKINS   
Official Signature of Notary

SWAN W ANKINS, Notary Public  
Notary's Name (printed)

My commission expires: 5-17-23

STATE OF SOUTH CAROLINA  
TOWN COUNCIL FOR THE TOWN OF FORT MILL  
ORDINANCE NO. 2015-\_\_

AN ORDINANCE ADOPTING A MIXED USE CONCEPT PLAN & DEVELOPMENT  
CONDITIONS FOR THE CAROLINA ORCHARDS “CULP” MXU PROJECT

WHEREAS, the parcel currently or formerly known York County Tax Map Number 728-00-00-011, containing approximately 30.94 acres at 101 Hunter Oaks Lane, was annexed to and made a part of the Town of Fort Mill by ordinance adopted on October 12, 2015; and

WHEREAS, by ordinance of the Fort Mill Town Council, the above referenced parcel was zoned as follows: MXU Mixed Use; and

WHEREAS, Article II, Section 19(5)(D)(1)(a), of the Zoning Ordinance for the Town of Fort Mill, requires as part of the approval process that a Mixed Use Development Project shall contain a concept plan and, if applicable, development conditions; and

WHEREAS, the applicant has submitted Development Conditions as shown within the attached “Exhibit A,” and a Concept Plan as shown within the attached “Exhibit B,” both of which have been reviewed by the Fort Mill Planning Commission and the Fort Mill Town Council and found to be consistent with the Town’s Comprehensive Plan;

NOW, THEREFORE, pursuant to the authority granted by the Constitution of the State of South Carolina and the General Assembly of the State of South Carolina, BE IT ORDAINED BY THE TOWN COUNCIL FOR THE TOWN OF FORT MILL:

Section I. Pursuant to Article II, Section 19(5)(D)(3), of the Zoning Ordinance for the Town of Fort Mill, the Development Conditions for the Carolina Orchards “Culp” MXU Project are hereby adopted as shown within the attached “Exhibit A.” Where any conflicts exist between the Development Conditions and the Subdivision Ordinance or Zoning Ordinance for the Town of Fort Mill, the provisions specified within the Development Conditions shall apply. A copy of these development conditions shall be maintained on file in the office of the Town Clerk and the Zoning Administrator.

Section II. Pursuant to Article II, Section 19(5)(D)(4), of the Zoning Ordinance for the Town of Fort Mill, the Concept Plan for the Carolina Orchards “Culp” MXU Project is hereby adopted as shown within the attached “Exhibit B.” A copy of this Concept Plan shall be maintained on file in the office of the Town Clerk and the Zoning Administrator.

Section III. The provisions of this ordinance shall apply to the parcel currently or formerly known as York County Tax Map Number 728-00-00-011, containing approximately 30.94 acres at 101 Hunter Oaks Lane.

Section IV. If any section, subsection, or clause of this Ordinance shall be deemed to be unconstitutional, or otherwise invalid, the validity of the remaining sections, subsections, and clauses shall not be affected thereby.

Section V. All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

Section VI. Effective Date. This ordinance shall be effective from and after the date of adoption.

**SIGNED AND SEALED** this \_\_\_\_ day of \_\_\_\_\_, 2015, having been duly adopted by the Town Council for the Town of Fort Mill on the \_\_\_\_ day of \_\_\_\_\_, 2015.

First Reading: September 28, 2015  
Public Hearing: October 12, 2015  
Second Reading: October 12, 2015

TOWN OF FORT MILL

\_\_\_\_\_  
Danny P. Funderburk, Mayor

LEGAL REVIEW

ATTEST

\_\_\_\_\_  
Barron B. Mack, Jr, Town Attorney

\_\_\_\_\_  
Dana Powell, Interim Town Clerk

**Exhibit A.**

**Development Standards & Conditions  
Carolina Orchards “Culp” MXU Project**

# Development Standards

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## **Carolina Orchards Culp MXU - Project Conditions**

### **1. Purpose of district**

The purpose of the mixed-use development (MXU) district is to encourage flexibility in the development of land in order to promote its most appropriate use; to improve the design, character, and quality of new development; to facilitate the provision of infrastructure, and to preserve the natural and scenic features of open areas. This district is intended for the appropriate integration of a wide range of residential and non-residential uses. The district is intended for use in connection with developments where the town has determined that the quality of a proposed new development will be enhanced by flexibility in the planning process.

### **2. Platting Requirements**

Platting requirements will be in accordance with Article II-PLAT REQUIREMENTS, of Chapter 32-SUBDIVISIONS, of the Town of Fort Mill Municipal Ordinance. Where possible, plats will comply with Article II, Section 19.3(C) of the Zoning Ordinance.

### **3. Bonding Requirements**

Bonding requirements will be in accordance with Section 32.104-SURETY BOND, Article IV-REQUIRED IMPROVEMENTS, of Chapter 32, of the Town of Fort Mill Municipal Ordinance.

## **Orchards Culp MXU Conditional Notes**

### **1. General Provisions**

Each proposal for the development under MXU district is anticipated to be unique. Except as provided by this section, an MXU district shall be subject to all of the applicable standards, procedures and regulations in other sections of the zoning ordinance.

The development depicted on the Mixed Use Development Site Plan is intended to reflect the arrangement of proposed uses on the site, but the final configuration, placement and the size of individual site elements may be altered or modified within the limits of the Ordinance and the standards established on the Development Standards Sheet during design development and construction phases. Street alignment and lot layout width and depth dimensions may be modified to accommodate final building layout and lot locations. The Petitioner reserves the right to modify the total number of lots identified within individual parcels or phases, reallocate units from a parcel or phase to another, or reconfigure lots and street layouts, provided the total number of lots for the entire residential development does not exceed the maximum total number permitted.

These standards, as established by the Technical Sheet, as set out below and as depicted on the Mixed Use Development Site Plan shall be followed in connection with development taking place on the site. Standards established by The Carolina Orchards Culp Technical Data Sheet and The Carolina Orchards Mixed Use Development Site Plan shall supersede the Fort Mill Subdivision Ordinance and Zoning Ordinance in effect at the date of approval.

## **2. Permitted Uses**

### **A) Residential**

- i) Subject to the requirements set out below, a maximum of 90 dwelling units may be constructed on the site.
- ii) Single-Family Detached Homes: Single family detached homes shall be allowed throughout all areas of the residential development having minimum dimensional standards as specified in section 15, along with any incidental or accessory uses in connection therewith, which are permitted by right or under prescribed conditions in the Mixed Use Zoning District or as part of The Carolina Orchards Culp Mixed Use Development.
- iii) Common Open Space: May include landscaping, active and passive Recreation, pedestrian and multi-use paths, utilities and associated infrastructure, and utility easements.
- iv) Amenities: Amenity uses including buildings, pool and pool facilities, athletic fields, trails, playground equipment, picnic shelters and other accessory uses commonly associated with amenity facilities are allowed if located on this parcel.

### **3. Density**

The maximum Gross Residential Unit density will not exceed 3.0 units per acre and/or 90 total units. Open space areas shall be included in the calculations for gross residential density.

### **4. Streets**

Minimum dimensions and design standards for each street type shall follow a consistent standard. The standards for each street shall follow one of the following:

- a) Public Residential Street: In accordance with the Town standards outlined in the Fort Mill Subdivision Ordinance.
- b) All Residential Streets: Shall be designed to provide a stop condition no more than 2,000 feet apart. This will be accomplished by "T" intersections where practical. Where this is not practical due to site constraints, posted stop signs at intersection (s) within the 2,000-foot street length will be installed.
- c) Cul-de-sacs: Shall conform to standards in the Fort Mill Subdivision Ordinance, except that alternative cul-de-sacs and loop streets shall be permitted to have landscaped islands, provided that the dimensions of these islands will accommodate the turn-around of fire trucks without backing up. Subdrains will be provided behind the island curb if irrigation is installed within the cul-de-sac island. Cul-de-sac lengths may vary as shown on The Carolina Orchards Culp MXU Site Plan. The Carolina Orchards Culp Mixed Use Development will provide landscaped island where feasible. Landscaped islands are subject to approval of the Town of Fort Mill Fire department.

Sidewalks: Will be installed on at least one side of all streets. At the Developer's option, additional sidewalks may be installed.

- e) Block Lengths: Block lengths shall be a maximum of 2,000 feet.

## **5. Vehicular Access and Road Improvements**

Vehicular access shall be provided through adjacent Springs MXU development in the general location as shown on the Mixed Use Development Site Plan. Minor adjustments to the locations of street and driveway entrances may occur, as required to meet state and local agency standards, or as a result of further site investigation and coordinate with final subdivision and site plan design.

## **6. Landscaping**

Landscaping shall be provided in accordance with Article II, Section 19.4(J) of the Zoning Ordinance and along York Southern Road in areas generally depicted on the Mixed Use Development Site Plan.

## **7. Open Space**

Common open space will be provided, to be platted and recorded separately from other uses. Open space will be owned and maintained by a Homeowner's Association or Property Owners Association. Any dedicated landscaping, buffers, or greenways will be included in allowable open space calculations. A minimum of 20% of the site area shall be open space.

## **8. Parking and Loading**

Parking, loading, and other requirements for each permitted use and platted lot will be in accordance with the requirements of Article I, Section 7, Subsection I for the Fort Mill Zoning Ordinance subject to the petitioner's ability to include parking spaces located within units with garages as eligible spaces meeting said requirements.

## **9. Access to Lots**

Access (curb cuts) to each platted lot must comply with standards set forth in the Fort Mill Zoning and Subdivision Ordinances. Vehicular access shall be provided through adjacent Carolina Orchards development (Springs MXU) in the general location as shown on the Carolina Orchards Mixed Use Development Site Plan via extension of the public right of way for Carolina Orchards Boulevard. Minor adjustments to the locations of street and driveway entrances may occur, as required to meet state and local agency standards, or as a result of further site investigation and coordinate with final subdivision and site plan design.

## **10. Signage**

A proposed project signage package shall be provided for approval by the town. All signs shall meet the requirements of Article II, Section 19.4(1), Subsections 1, and 2 of the Zoning Ordinance. Approval to not be unreasonably withheld.

## **11. Building Heights**

Proposed building heights will not exceed 45 feet. Building height shall be measured in accordance with Article II, Section 19.4(D) of the Zoning Ordinance.

## **12. Improvements**

The developer will be responsible for installation of required streets, utilities, common areas, amenity improvements, open space, and buffer yards, which pertain specifically to the project.

## **13. Changes**

a) Petitioner/Developer understands that upon approval of the Mixed Use Development by the Town Council, any changes that are proposed which are considered to be of a minor nature such as adjustments or relocation of streets, lots, and open space; or adjustments to interior parcel boundaries, parcel sizes, or lot sizes and quantities, may be approved by the Fort Mill staff through an administrative review process. Other minor changes may be made to the list of permitted uses, unit mixture, reallocation of unit types, relocation of uses, buffer yards, landscaping and open space standards throughout the project, shall be subject to review and approval through an administrative process by the Fort Mill staff.

b) Significant changes to the Mixed Use Development Site Plan which include changes increasing overall project dwelling unit count, land use summary, and adding acreage are all considered to be major site plan changes and are subject to approval by the Town Council in accordance with Chapter 32 of the Fort Mill Municipal Ordinance.

## **14. Construction Schedule and Phasing**

This development will be constructed in phases. Phasing to be determined and approved during the preliminary plat process.

## **15. Development Standards**

Design Standards–Storm drainage and utilities (including sanitary sewer, gas, electric, telephone and cable television) may occur within landscape corridors/areas.

- a) Maximum Residential Density: 3.0 units per acre
- b) Maximum number of Residential Units: Up to 90
- c) Impervious Surface Ratio: 80% for single family detached, 85% remaining uses
- d) Single Family Detached Development
  - i. Minimum front building setbacks (from street r/w): 20 feet
  - ii. Minimum side yard: 5 feet
  - iii. Minimum side yard at corner lots (from street r/w): 10 feet
  - iv. Minimum rear yard: 10 feet
  - v. Minimum lot width: 30 feet
  - vi. Minimum lot size: 2,400

**\*NOTE:**

1. Steps that provide direct access to the entrance of a principal structure may extend 50 percent into a required front yard to the property (right-of-way) line. Balconies and awnings may extend up to 50 percent into a required front, side, or rear yard, provided a minimum vertical clearance of nine feet measured from the finished grade is maintained. Other appurtenances, such as a stoop, open porch, or bay window may extend up to 10 feet into the required front yard, provided such features do not impede pedestrian circulation, or extended more than 50 percent into the required yard. Such appurtenances may extend up to 25 percent into a required side or rear yard.

2. Single Family detached lots of less than 40' in width are permitted provided they are rear loaded with alley access.

**d) Buffer Yards**

i. Perimeter buffer will not be required between The Carolina Orchards Culp MXU project and the Carolina Orchards development which is part of the Springs MXU Zoning.

ii. Perimeter buffers for areas not adjoining the Carolina Orchards Development (Springs MXU) shall be in accordance with Article II Section 19.4(K) of the Zoning Ordinance. Buffer Yard shall be natural, undisturbed and wooded where possible and shall count towards the provision of open space for the development where the buffer is not platted and made part of an individual privately owned lots. Where an existing natural undisturbed wooded area does not exist, a planted buffer shall be required in conformance with the buffer standards of Article II, Section 19.4(K).

iii. Petitioner reserves the right to construct a minimum 6' (six) high opaque fence, wall berm, or combination thereof in order to satisfy buffer and/or screening requirements. In the event that the petitioner or their assignee decides to install a fence, wall or berm they may reduce the buffer area dimensions by 33%. Buffer yards will be designed in a manner to allow openings of an appropriate width in order to allow pedestrian connectivity. Utilities and right of ways are allowed to be located in buffer areas where needed.

**16. Model Homes**

Model homes may be constructed within residential areas at the developer's discretion. Mobile temporary sales offices shall be allowed on site at the developer's discretion.

**17. Lot Transfer and Recording**

Lots may be transferred or recorded by means of posting appropriate surety bonds as referenced in Sec. 32.104.

## **18. Water and Sewer**

The Developer understands that water and sewer will be provided by York County for all lots within the Mixed Use Development. The Developer shall construct or cause to be constructed at Developer's cost all necessary water and sewer service infrastructure to, from, and within the Property. The developer will comply with all DHEC and York County water and sewer specifications. A water and sewer "willingness and capability letter" must be received from the York County Engineering Department prior to obtaining a grading permit for any portion of the development utilizing York County water and sewer.

## **19. Applicable Ordinances**

This development will be subject to the standards and requirements for the Fort Mill Subdivision Ordinance and Zoning Ordinance in effect at the date of approval by the Town of Fort Mill or as superseded by the provisions of The Orchards Mixed Use Development Site Plan and Technical Data Sheet, as approved by the Town of Fort Mill.

## **20. Ten Year Vested Right**

Due to the size of the overall Carolina Orchards proposed development and the level of Petitioner's investment, the Petitioner requests a ten (10) year vested right for construction of this project.

## **21. Binding Effect of the Rezoning Documents**

If this Rezoning Petition is approved, all conditions applicable to development of the site imposed under the Rezoning Site Plan and Development Standards Sheet will, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of the Petitioner and subsequent owners of the site and their respective successors in interest and assigns.

## **22. Restrictive Covenants**

Restrictive Covenants will be created and recorded with the office of the county clerk of court prior to the approval of a plat or issuance of a building permit for a vertical building on the property. Covenants shall be in accordance with Article II, Section 19.3(D) of the Fort Mill Zoning Ordinance.

## **23. Development Impact Fees**

The property shall be subject to all current and future development impact fees imposed by the Town, provided such fees are applied consistently and in the same manner to all similarly situated property within the Town limits. For the purpose of this Agreement, the term "development impact fees" shall include, but not be limited to, the meaning ascribed in the South Carolina Development Impact Fee Act, Sections 6-1-910, et seq, of the SC Code of Laws.

**Exhibit B.**

**Concept Plan  
Carolina Orchards “Culp” MXU Project**



**Planning Commission Meeting  
September 22, 2015  
New Business Item**

**Preliminary Plat: Kimbrell Oaks**

Request from EMH&T, submitted on behalf of Ryland Homes, to review and approve a preliminary plat for the Kimbrell Oaks subdivision

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The town has received a draft preliminary plat, submitted by EMH&T, on behalf of Ryland Homes, for a new subdivision called Kimbrell Oaks. The proposed subdivision will contain 100 single-family lots on approximately 28.97 acres (3.45 units/acre).

The property is located on Kimbrell Road, between North Dobys Bridge Road and Tom Hall Street. An annexation ordinance and development agreement for this property were previously approved in December 2014. Under the terms of the development agreement, the property is limited to a total residential density of 100 single-family units and carries an R-5 zoning designation.

A sketch plan for the project was reviewed and approved by the Planning Commission on May 26, 2015.

Below is a summary of lot dimensions and other requirements for the R-5 district, as well as the lot standards proposed by the applicant in the attached preliminary plat:

	<u>R-5/DA Req.</u>	<u>Provided by Applicant</u>
Min Lot Size:	5,000 SF	5,000 SF
Min Lot Width:	50 FT	50 FT
Min Front Yard:	10 FT	10 FT
Min. Side Yard:	5 FT	5 FT (10 FT @ Corner)
Min. Rear Yard:	15 FT	15 FT
Open Space:	20%	32% (+/- 9.17 Acres)
Buffer:	35'	35' (Natural)
Sidewalks:	Both Sides + Kimbrell + Dobys Bridge	Both Sides + Kimbrell + Dobys Bridge

**Recommendation**

The preliminary plat is consistent with the requirements of the R-5 zoning district, as well as the previously approved sketch plan.

As discussed during the sketch plan process, the proposed preliminary plat shows the protection of one of the two prominent live oaks at the front of the property as well as the oak at the corner of North Dobys Bridge and Kimbrell Road. An internal right-of-way stub-out has been provided

to the adjacent property to the north, which was also included in the discussions during the sketch plan process.

The applicant has provided a landscape plan showing a variety of street trees as well as a landscaped buffer between the project and Kimbrell/Dobys Bridge roads. The landscaped buffer matches the applicants proposed buffer, which was included during the sketch plan process.

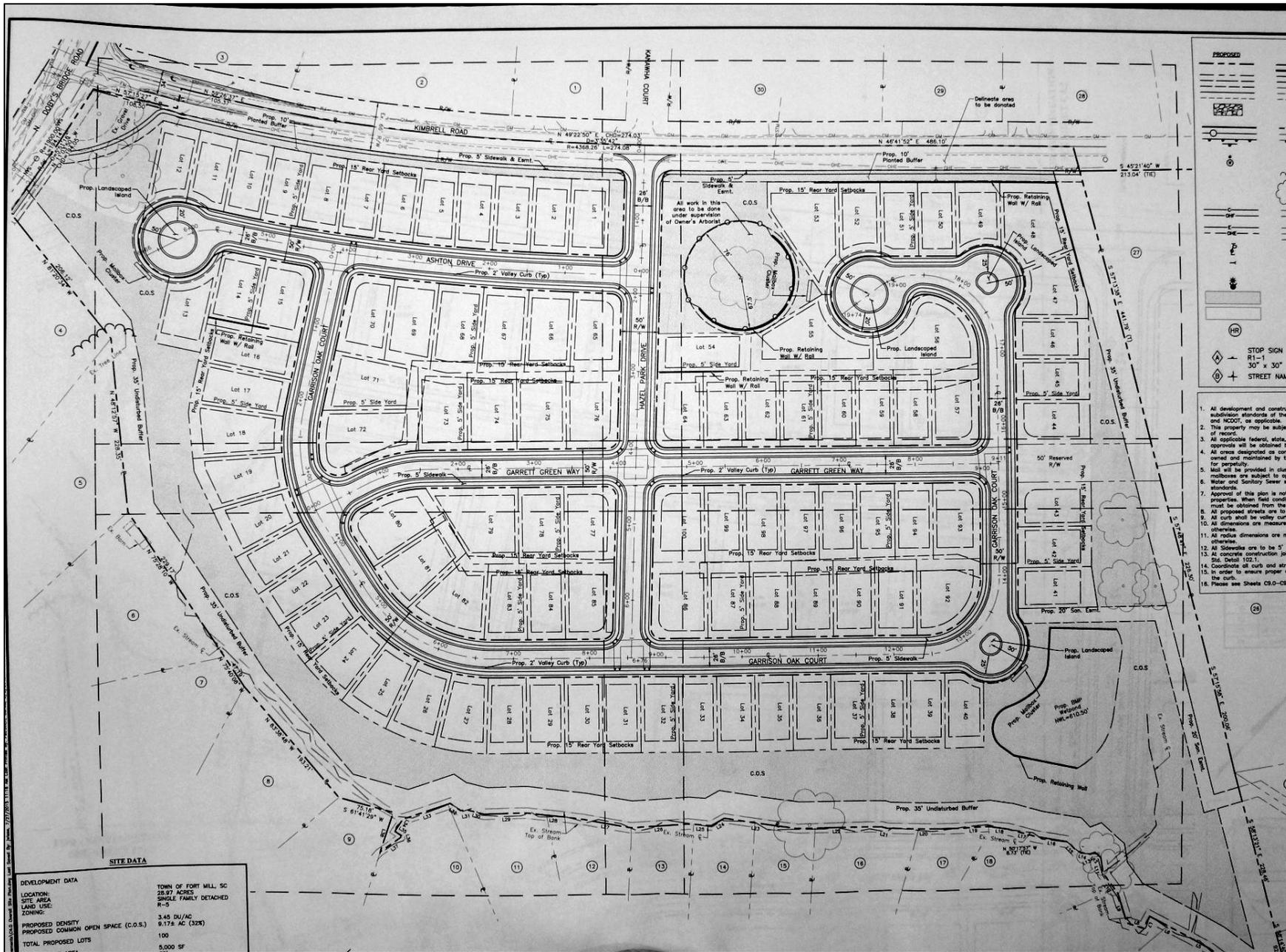
Staff has completed an initial review of the preliminary plat and submitted comments to the applicant for revisions. Comments included a request for changes to the cul-de-sac medians to include a mountable curb with stamped concrete apron to allow for fire and garbage apparatus maneuverability as well as a request for a lighting plan. Per the development agreement, the applicant will provide streetscape lighting within the project.

Pursuant to a traffic impact study that was completed by Kimley-Horn & Associates in March 2014, and updated in August 2014, as well as the 2014 development agreement, the installation of turn lanes at both ends of Kimbrell Road shall be required. These improvements shall be reviewed and approved by SCDOT.

Should the Planning Commission approve the request, staff would request the authority to administratively review and approve construction drawings, inclusive of street tree, landscaping, lighting and utility plans, contingent upon any modifications requested by the Planning Commission.

Chris Pettit, AICP  
Assistant Planner  
September 18, 2015

# Preliminary Plat (Proposed)



**PROVISIONS**

STOP SIGN  
30" x 30"

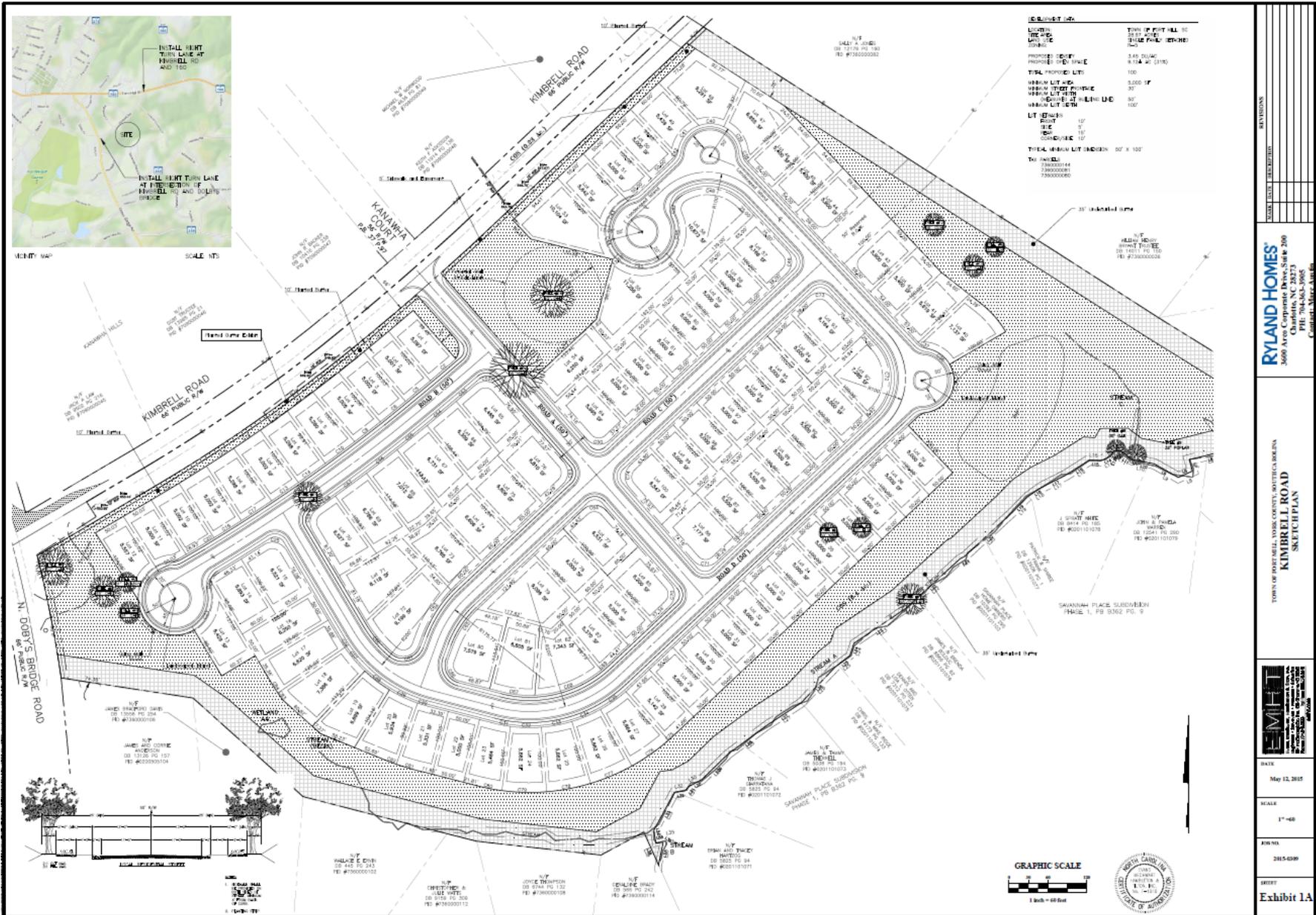
STREET NAME

- All development and construction shall conform to the standards of the T.C. and M.C.O.P., as applicable.
- This property may be subject of record.
- All applicable federal, state, or appropriate will be obtained by the owner.
- All areas designated as common owned and maintained by the lot owner.
- Mail will be provided in cluster mailboxes are subject to appropriate Water and Sanitary Sewer and standards.
- Approval of this plan is not of record. When field conditions must be obtained from the lot owner.
- All curbs shall be valley curb.
- All dimensions are measured in feet.
- All radius dimensions are measured in feet.
- All setbacks are to be 5' unless otherwise noted.
- All concrete construction joints shall be 12:1.
- Coordinate all curb and street lines to ensure proper street curb.
- Please see Sheets C9.0-C9.11.

**DEVELOPMENT DATA**

LOCATION:	TOWN OF FORT MILL, SC
SITE AREA:	28.97 ACRES
LAND USE:	SINGLE FAMILY DETACHED
ZONING:	R-5
PROPOSED DENSITY:	3.45 DU/AC
PROPOSED COMMON OPEN SPACE (C.O.S.):	9.17% AC (32%)
TOTAL PROPOSED LOTS:	100
AREA:	8,000 SF

# Approved Sketch Plan (May 26, 2015)



**Planning Commission Meeting**  
**September 22, 2015**  
**New Business Item**

**Commercial Appearance Review: Traditions at Fort Mill**

Request from Gross Builders to grant commercial appearance review approval for the Traditions at Fort Mill (formally River Crossing Senior Living) located at the corner of Rivercrossing Drive and Sutton Road.

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**Background / Discussion**

The Planning Commission is asked to consider a request from Gross Builders to grant commercial development appearance review approval for the Traditions of Fort Mill senior apartment community at the corner of Rivercrossing Drive and Sutton Road. A map and site plan are attached for reference.

The property (Tax Map # 020-20-01-016) is zoned MXU Mixed Use, wherein senior apartments and commercial offices are permitted per their approved MXU development conditions. The property is also be subject to the requirements of the COD-N Corridor Overlay (Node) district.

The proposed building elevations, site plans and landscaping plans are attached for review. A full set of building designs will be available during the Planning Commission meeting. The exterior of the apartment buildings and commercial building features a mix of asphalt shingles, metal roofing, brick and Hardiplank.

The landscape plan includes a mixture of shade trees within the parking lot and along the Rivercrossing Drive frontage. A mixture of evergreens were included as screening for parking areas.

**Recommendation**

The property is zoned MXU with development conditions that list senior apartments and commercial office space as permitted uses. The COD-N overlay also allows senior apartments and commercial uses.

The following paragraphs detail staff's review of the site plan's and elevation's compliance with the approved MXU development conditions, the MXU ordinance, and the COD-N requirements. In staff's review of compliance with the three sets of regulations, items approved with the MXU development conditions override regulations listed in the MXU ordinance. Additionally, when the regulations of the MXU development conditions and MXU ordinance differ from those listed in the COD-N overlay, the strictest regulations shall apply. In review of compliance with the COD-N regulations, staff notes that many of the requirements do not apply as the subject project has no frontage along the Sutton Road corridor. As opposed to attaching all three sets of regulations for the Planning Commission's review, staff has included the applicable code sections within the body of the staff report as necessary. Excerpts of code are highlighted in grey.

### **Setbacks and Heights**

The proposed buildings and associated improvements meet the setback requirements of the approved MXU development conditions. The proposed heights of the multi-family structures meet the 20' minimum, 60' maximum requirements of the MXU development conditions, however the proposed commercial structure does not meet the minimum 20' height requirement. The commercial structure appears to be +/- 17' in height. The Planning Commission will either have to defer the approval of the commercial structure, approve a design to be determined during the meeting, or delegate approval authority to town staff.

### **Building Placement / Orientation**

In regards to building placement/orientation, the COD-N overlay notes that:

...development will be designed to bring buildings closer to the road edge to better define the public space of the streets enhanced by landscaping and pathways and create a scale that is more appropriate for a pedestrian traffic.

Additional sections of the overlay also note that buildings are to be brought up to the street, oriented toward the street, to create a pedestrian scale atmosphere. The section regarding off-street parking notes that:

Off-street parking in the district shall be located to the side or rear of the structure(s) located nearest to the public road(s), to the extent practicable. Where parking is located between a structure and the corridor, it shall be limited to one bay of parking (i.e., two rows of parking spaces with one shared drive aisle between the rows of spaces).

The applicants have, along their primary street right-of-way (Rivercrossing Drive), brought the buildings up close to the street and have proposed streetscape improvements to create a pedestrian scale. The Planning Commission shall have the discretion to determine if the proposed building orientations meet the requirements, and intent, of the COD-N overlay district requirements.

### **Architecture / Design**

The proposed structures use asphalt shingles and metal roofs with brick and Hardiplank siding. The COD-N overlay provides the following requirements for building materials and architectural design:

Architectural features/façade treatments:

- 1) Materials:
  - (a) Buildings shall be designed to use building materials such as rock, stone, brick, stucco, concrete, wood or Hardiplank.
  - (b) No mirrored glass shall be permitted on any facades in COD-N, and mirrored glass with a reflectance no greater than 20 percent shall be permitted in COD.
  - (c) Corrugated metal shall not be used on any facade.
- 2) In COD-N, variations in the rooflines and facades of adjacent buildings shall be encouraged to avoid monotony.

- 3) In COD-N, any nonresidential façade facing the corridor or any other street shall be articulated with architectural features and treatments, such as windows, awnings, scoring, trim, and changes in materials (i.e., stone "water table" base with stucco above), to enhance the quality of pedestrian environment of the public street, particularly in the absence of a primary entrance.

The Planning Commission shall have the discretion to determine whether the proposed design and materials best meets the requirements, and intent, of the COD-N overlay district. Staff will note that the materials/colors used for the proposed retaining walls will need to be approved through the commercial appearance review process as well. The applicant has submitted a material sheet for the proposed retaining walls. In making a decision, staff will note that the retaining walls for the nearby Sleep Inn hotel project have yet to be approved as the Planning Commission desired to create a standard design for the node. Should the Planning Commission approve the applicant's proposed design, staff would recommend utilizing a similar product for future projects in the node.

### **Landscaping**

Because the project does not front the Sutton Road corridor, the landscaping for the project must meet the requirements of the MXU Ordinance (Article II, Section 19 of the Zoning Ordinance). The COD-N Overlay does provide landscaping requirements, however they are intended for corridor frontage, which the project does not have.

The applicant has provided a number of shade trees within the parking lot and street frontage areas to meet the requirements of the MXU Ordinance. Screening of the parking and dumpster areas has been provided through the use of evergreens and brick enclosures. However, the applicant has not provided enough information to determine compliance with the following:

Whenever the impervious cover exceeds 10,000 square feet, a planting area equal to ten percent of the total impervious surface must be provided for landscape purposes and tree planting. Internal tree planting is required at the rate of one large maturing shade tree per 10,000 square feet of impervious cover or fraction thereof. This planting area must be located on private property and shall be in addition to any other applicable planting requirements.

Prior to staff approval of the project, the applicant must provide information to note compliance with the requirement. Should the Planning Commission desire additional landscaping, it could require landscaping above and beyond what would be required utilizing this section of the MXU Ordinance requirements.

### **Sidewalks**

Staff has noticed several deficiencies related to pedestrian pathways. The MXU development conditions requires that the applicant connect internal pathways to those already existing along Rivercrossing Drive. The COD-N overlay requires the sidewalk along Rivercrossing Drive to be a minimum 8' in width. As currently submitted, the plan does not show a connection between the internal sidewalks and the sidewalks existing along Rivercrossing Drive. The width of existing sidewalks along Rivercrossing Drive is not noted. The Planning Commission will have the ability to waive the 8' width requirement along Rivercrossing Drive or to require that the entire frontage of the project be built/expanded to feature an 8' width.

While internal pathways are provided, staff would note that crosswalks in parking areas shall be distinguished from asphalt surfaces “through the use of durable, low maintenance, surface materials such as pavers, bricks, or scored, stamped or colored concrete” as noted in the COD-N overlay. The nearby Sleep Inn hotel project has deferred a discussion of this requirement to a later date so as to allow time to work toward creating a standard for the entire node. Staff would recommend similarly deferring this discussion to a future meeting to allow staff to work with the applicants and the Planning Commission on creating a standard design.

In regards to internal pathways, staff will note that the code requires at least an 8’ pathway adjacent to the building façade to promote internal pedestrian circulate. The current plan appears to feature 5’ pathways adjacent to the buildings. The Planning Commission, at their discretion, would need to approve this deviation using the procedure noted in Subsection 17 “Alternative means of compliance” within the COD-N overlay code.

### **Driveways**

In relation to driveways, the COD-N overlay code notes that internal stub-outs and/or access easements are to be provided where feasible. Staff will note that the current plan does not show any access easements or stub-outs. The Planning Commission can waive this requirement at their discretion where “unusual topography or site conditions would render such an easement of no benefit to adjoining properties”.

### **Parking**

A key to the COD-N overlay requirements is to create a pedestrian/bicycle friendly environment. As such, the overlay requires that bicycle parking be present in addition to vehicular parking. A minimum of 9 “spaces” would be required in total for the entire project. Staff would recommend splitting up the required spaces among the multi-family buildings. As submitted, the plan does not show any bicycle parking.

### **Fire Marshal’s Comments**

In the Fire Marshal’s review of the site plan, he noted that appropriate fire access to Building 1 is not provided. In the event that no other issues arise that would require the Planning Commission to defer approval, staff would recommend delegating some degree of leeway to staff to approve a deviation in the site plan to meet the requirements of the Fire Marshal, such as utilizing a pervious concrete paver system similar to that used at the nearby Sleep Inn hotel. In the event that a major change to the site plan would be required, staff would ultimately require the applicant to bring the item back for approval through the Planning Commission.

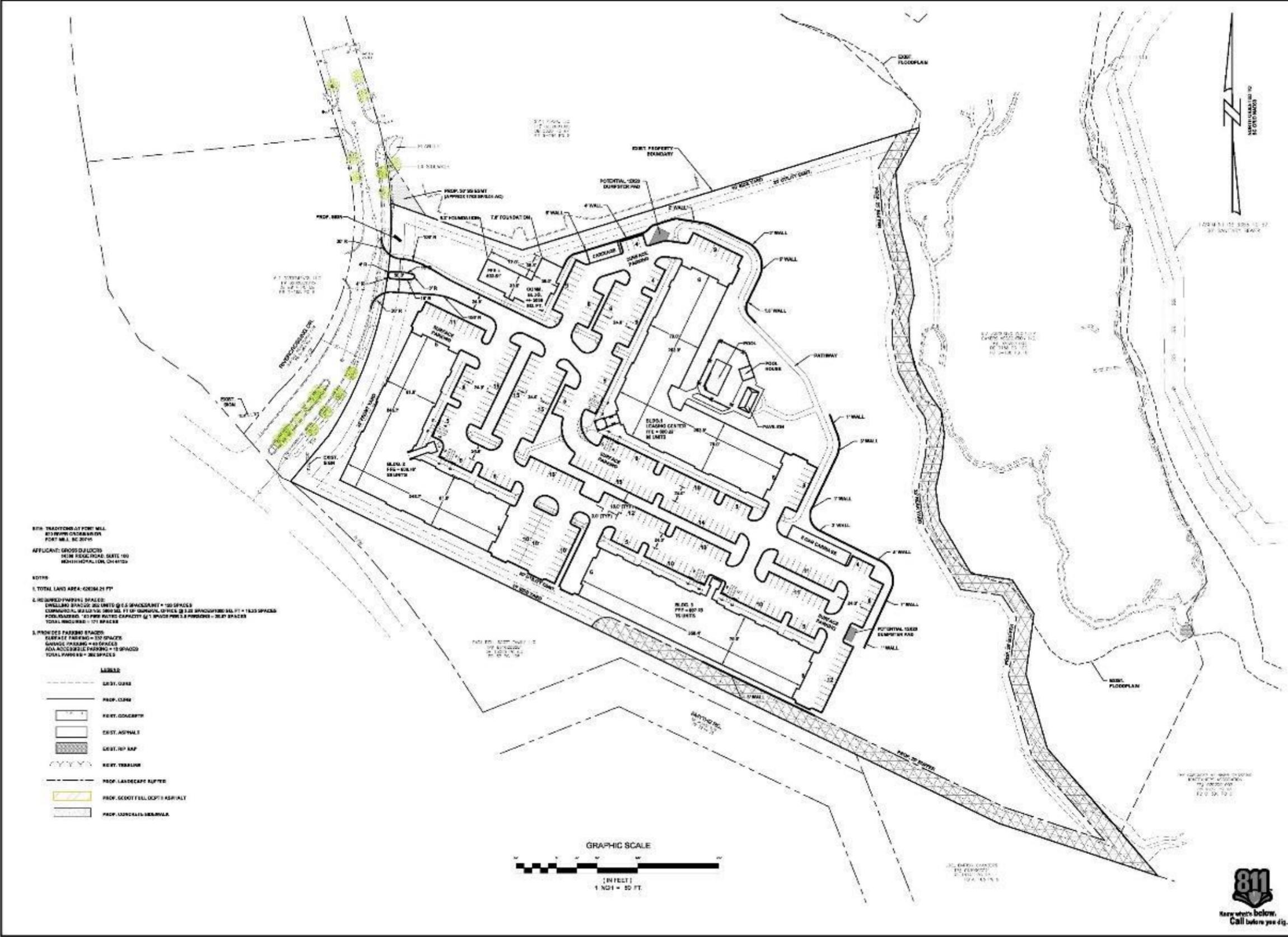
As a final note, staff has included the purpose of the COD/COD-N overlay district:

*Purpose.* The corridor overlay district is established for the purpose of maintaining a safe, efficient, functional and attractive roadway corridor for the Fort Mill Southern Bypass (the "Bypass") and surrounding areas. It is recognized that, in areas of high visibility, the protection of features that contribute to the character of the area and enhancements to development quality promote economic development and stability in the entire community.

Chris Pettit, AICP  
Assistant Planner  
September 18, 2015



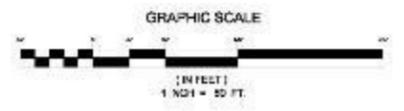
PROJECT NO. 2023-001 - TRADITIONS AT FORT MILL, SOUTH CAROLINA. DATE: 08/21/2023



8TH TRADITIONS AT FORT MILL  
 875 WYNN CIRCLE DR  
 FORT MILL, SC 29504  
 APPLICANT: GROSS DEVELOPERS  
 4618 FOGEL ROAD, SUITE 100  
 WORTHEN, NC 27689

NOTES:  
 1. TOTAL LAND AREA: 628,421 SF  
 2. REQUIRED PARKING SPACES:  
 DWELLING SPACES: 262 UNITS @ 0.5 SPACES/UNIT = 131 SPACES  
 COMMERCIAL: 8,000 SF @ 1.0 SPACES/1,000 SF = 8 SPACES  
 PUBLIC/RETAIL: 40,000 SF @ 1.0 SPACES/1,000 SF = 40 SPACES  
 TOTAL REQUIRED: 179 SPACES  
 3. PROVIDED PARKING SPACES:  
 RESIDENT PARKING = 130 SPACES  
 GARAGE PARKING = 49 SPACES  
 ADA ACCESSIBLE PARKING = 18 SPACES  
 TOTAL PROVIDED = 197 SPACES

- LEGEND**
- EXIST. CURB
  - PROP. CURB
  - EXIST. CONCRETE
  - EXIST. ASPHALT
  - EXIST. RP RAP
  - EXIST. TERRAZZO
  - PROP. LANDSCAPE LIGHTS
  - PROP. SCOTT'S BELL DPT'S ASPHALT
  - PROP. LANDSCAPE IRRIGATION



PRELIMINARY  
 NOT FOR  
 CONSTRUCTION

NO.	DATE	REVISION

APPEARANCE REVIEW  
**TRADITIONS AT FORT MILL**  
 TOWN OF FORT MILL, SC  
 GROSS BUILDERS

PROJECT INFORMATION

PROJECT NAME:	046
REVISION #:	046
DRAWN BY:	001
PLOT NO. / SHEET:	046.01 / 01
DATE PLOTTED:	08/21/23
SCALE:	AS SHOWN

AR







**A** BUILDING #1  
FRONT ELEVATION  
3/32"=1'-0"



**B** BUILDING #1 - FRONT RIGHT ELEVATION  
3/32"=1'-0"



**C** BUILDING #1 - FRONT LEFT ELEVATION  
3/32"=1'-0"



**D** BUILDING #1 - TYPICAL SIDE / REAR ELEVATION  
3/32"=1'-0"

**GFSS**  
ARCHITECTS  
19 WEST 21  
NEW YORK, N.Y. 10019  
212.952.9099  
©GFSS Architects, LLP 2011

**Traditions at Fort Mill**  
FORT MILL, SOUTH CAROLINA

OWNER:

CONTRACTOR:  
HGG BLDG LTD.  
1501 RIDGE ROAD, SUITE 101  
N. DODD FORT, CH 44027  
402.271.881

DRAWING:  
BUILDING #1  
88 UNITS  
ELEVATIONS

DATE: 1 Sept 2018

SCALE:  
3/32" = 1'-0"

DRAWN BY: JL



**A** BUILDING #2 - TYPICAL FRONT/SIDE ELEVATION

3/32"=1'-0"



**B** BUILDING #2 - REAR ELEVATION #1

3/32"=1'-0"



**C** BUILDING #2 - REAR ELEVATION #2

3/32"=1'-0"

**Traditions at Fort Mill**  
 FORT MILL, SOUTH CAROLINA

OWNER:

CONTRACTOR:  
 HOG RING LTD.  
 1400 SHELBY ROAD, SUITE 100  
 N. ROYALTON, OH 44133  
 44037-1681

DRAWING:  
 BUILDING #2  
 88 UNITS  
 ELEVATIONS

DATE: 1 Sept. 2011

SCALE:  
 3/32"=1'-0"

DRAWN BY: jt



**A** BUILDING #3 - FRONT ELEVATION

1/16"=1'-0"



**B** BUILDING #3 - REAR ELEVATION

1/16"=1'-0"



**C** BUILDING #3 - TYPICAL SIDE ELEVATION

1/16"=1'-0"

**Traditions at Fort Mill**  
 FORT MILL, SOUTH CAROLINA

OWNER:

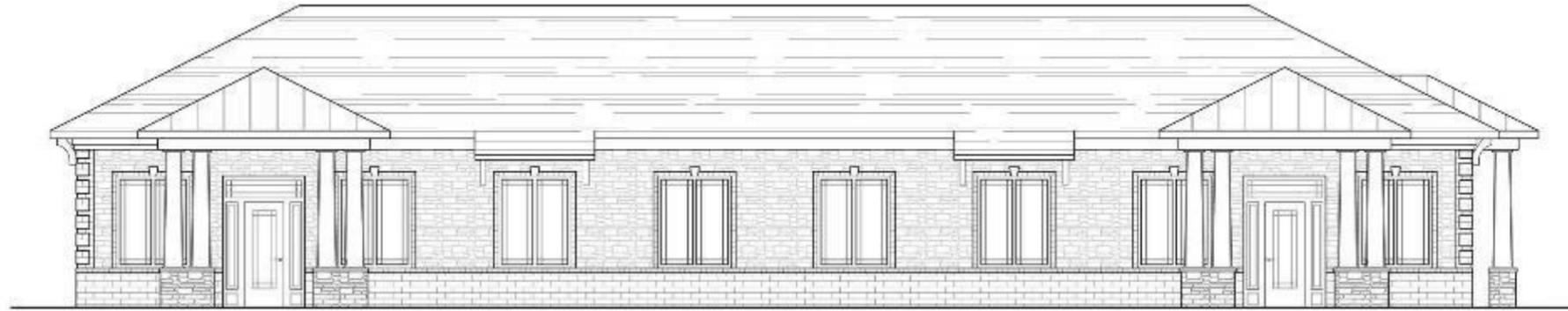
CONTRACTOR:  
 HGG RIDGE LTD.  
 1300 RIDGE ROAD, SUITE 100  
 N. WALTON, OH 44122  
 440.237.0683

DRAWING:  
 BUILDING #3  
 76 UNITS  
 ELEVATIONS

DATE: 1 Sept 2011

SCALE:  
 1/16" = 1'-0"

DRAWN BY: j



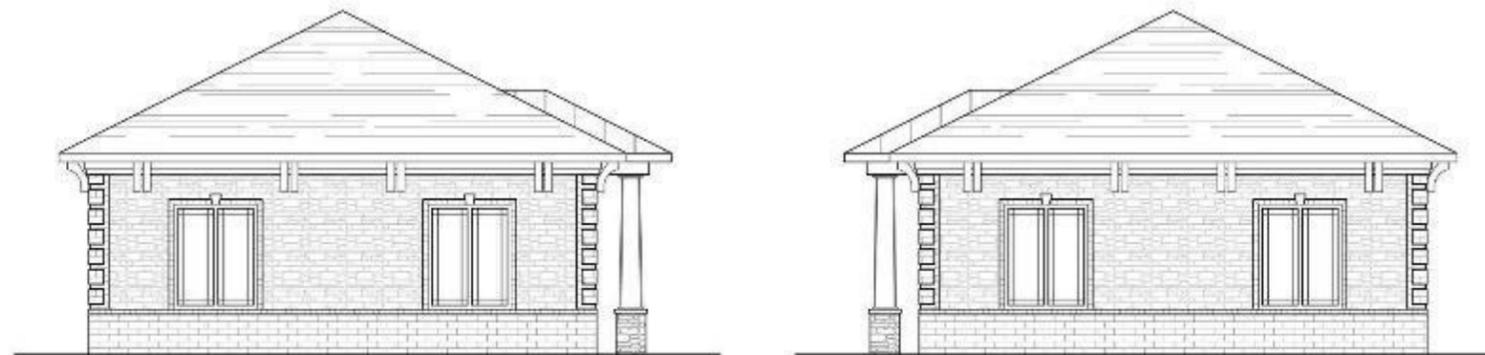
**A** COMMERCIAL BUILDING - FRONT ELEVATION

3/16"=1'-0"



**B** COMMERCIAL BUILDING - SIDE ELEVATION

3/16"=1'-0"



**C** COMMERCIAL BUILDING - END ELEVATIONS

3/16"=1'-0"

**Traditions at Fort Mill**  
 FORT MILL, SOUTH CAROLINA

OWNER:

CONTRACTOR:  
 HOG RIDGE LTD.  
 1400 EDGE ROAD, SUITE 100  
 N. ROYALTON, OH 44133  
 440.257.1891

DRAWING:  
 COMMERCIAL  
 BUILDING  
 ELEVATIONS

DATE: 13 Sept. 2015

SCALE:  
 3/16" = 1'-0"

DRAWN BY: jf



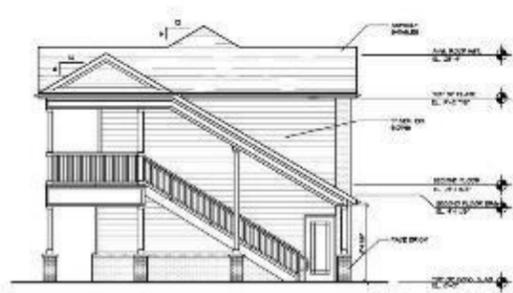
**A** DOUBLE CARRIAGE UNIT (8 CAR GARAGE)  
 FRONT ELEVATION

1/8"=1'-0"



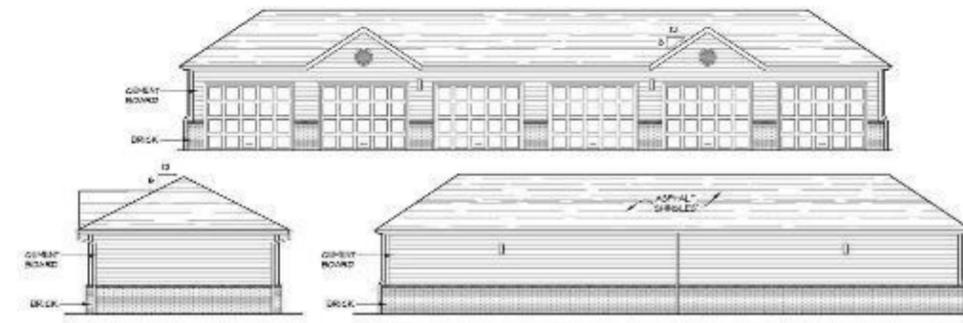
**B** SINGLE CARRIAGE UNIT (4 CAR GARAGE)  
 FRONT ELEVATION

1/8"=1'-0"



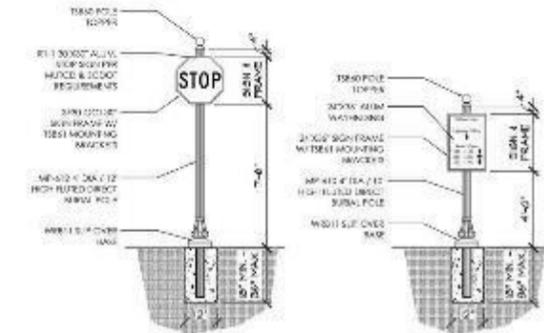
**C** CARRIAGE UNIT  
 TYPICAL SIDE ELEVATION

1/8"=1'-0"



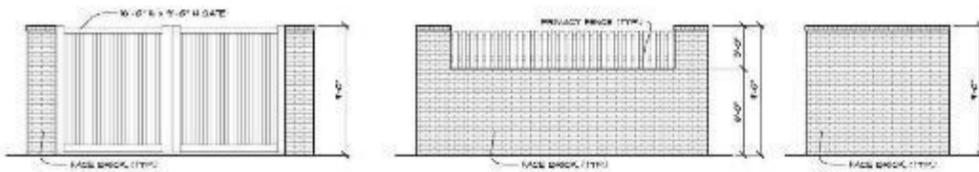
**D** GARAGES - FRONT / SIDE / REAR ELEVATIONS

1/8"=1'-0"



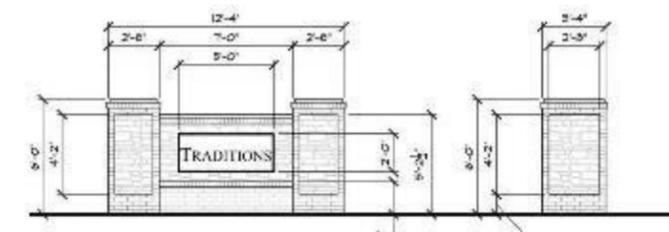
**E** SIGNAGE  
 STREET AND WAY-FINDING ELEVATIONS

NTS



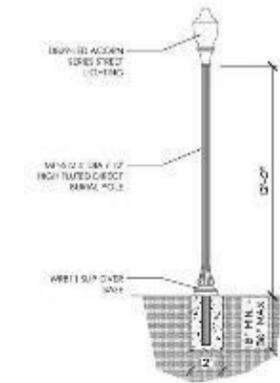
**F** DUMPSTER ENCLOSURES  
 FRONT / SIDE / REAR ELEVATIONS

3/16"=1'-0"



**G** PRIMARY PROPERTY SIGNAGE  
 TYPICAL ROAD AND END ELEVATIONS

1/4"=1'-0"



**H** STREET / SITE LIGHTING  
 TYPICAL ELEVATION

NTS



**J** POOL HOUSE - FRONT / REAR / LEFT / RIGHT ELEVATIONS

3/16"=1'-0"

**Traditions at Fort Mill**  
 FORT MILL, SOUTH CAROLINA

OWNER:

CONTRACTOR:  
 1801 RENTON RD.  
 2020 KINGS ROAD, SUITE 103  
 N. HOV ALTON, OH 44130  
 44127-3461

DRAWING:  
 ACCESSORY  
 BUILDINGS /  
 SIGNAGE / LIGHTING

ELEVATIONS

DATE: 15 Sept 2015

SCALE:  
 VARIES

DRAWN BY: j



**A** TYPICAL BUILDING RENDERING - FRONT ELEVATION (PARTIAL)

1/8"=1'-0"



**B** TYPICAL BUILDING RENDERING - SIDE ELEVATION

1/8"=1'-0"



**C** TYPICAL BUILDING MATERIALS

1/8"=1'-0"

**Traditions at Fort Mill**  
 FORT MILL, SOUTH CAROLINA

OWNER:

CONTRACTOR:  
 HCC SDCI LTD  
 1485 REGENT ROAD SUITE 100  
 N. WOODLAWN, OH 44135  
 440.207.1881

DRAWING:  
 TYPICAL BUILDING COLOR RENDERINGS AND MATERIALS

DATE: 18 Sep 2015

SCALE:  
 1/8" = 1'-0"

DRAWN BY: jr



**A** COMMERCIAL BUILDING - FRONT ELEVATION

3/16"=1'-0"



**B** 8-CAR CARRIAGE UNIT - FRONT ELEVATION

3/16"=1'-0"



**C** 4-CAR CARRIAGE UNIT - FRONT ELEVATION

3/16"=1'-0"

**GF55**  
 ARCHITECTS  
 19 WEST 2  
 15A YORK ST 10010  
 212.352.8044  
 ©GF55 Architects, LLP 2011

**Traditions at Fort Mill**  
 FORT MILL, SOUTH CAROLINA

OWNER:

CONTRACTOR:  
 HGG HISE LTD.  
 1030 EDGE ROAD, SUITE 100  
 NURDY ALTON, OH 44133  
 440.257.1681

DRAWING:  
 TYPICAL  
 BUILDING COLOR  
 RENDERINGS

DATE:  
 1 Sept 2018

SCALE:  
 3/16" = 1'-0"

DRAWN BY: J

*Segmental Retaining Walls*  
**Anchor Diamond Pro®**



**ANGLISS**

IMPROVING  
YOUR  
LANDSCAPE™







42" Vinyl Fence

# Nearby Commercial Buildings



North Elevation 1/8" = 1'-0"

**Planning Commission Meeting  
September 22, 2015  
New Business Item**

**Commercial Appearance Review: Holiday Inn Express**

Request from Navkaar Investment Corporation to grant commercial appearance review approval for a proposed Holiday Inn Express located at 1655 Carolina Place Drive.

---

**Background / Discussion**

The Planning Commission is asked to consider a request from Navkaar Investment Corporation to grant commercial development appearance review approval for the proposed Holiday Inn Express located at 1655 Carolina Place Drive.

The property (Tax Map # 020-23-01-008) is zoned Highway Commercial (HC), wherein hotels are a permitted use.

The applicant intends to build a four-story, 87 room hotel, which will have primary access off of Carolina Place Drive and secondary access from the existing driveway located at the rear of the adjacent business properties fronting Highway 160.

The proposed building elevations, site plan, and landscaping plan are attached for review. A full set of building designs will be available during the Planning Commission meeting. The Planning Commission, at their 8/25/15 meeting, saw an early design of the proposed hotel. At that time, the Planning Commission noted that the modern design was not compatible with adjacent architecture and design and asked the applicants to revise the elevations so as to be more harmonious with the adjacent buildings. The revised elevations show a mixture of EIFS and stone on the building, with matching stone accents and colors on the proposed porte-cochere. Staff will note that the site plan has changed since the renderings were completed for the elevations, which may cause the actual construction to be mirrored from what is shown. Staff is currently awaiting an answer regarding potentially mirroring of the elevations.

The landscape plan shows the parking lot landscaping consisting of willow oaks with evergreens used to screen the proposed dumpster enclosure.

Photos of nearby buildings are attached for reference.

**Recommendation**

Staff has reviewed the site plan and found no major deficiencies. The plan appears to feature high quality building materials and enhanced architectural features. Staff recommends approval.

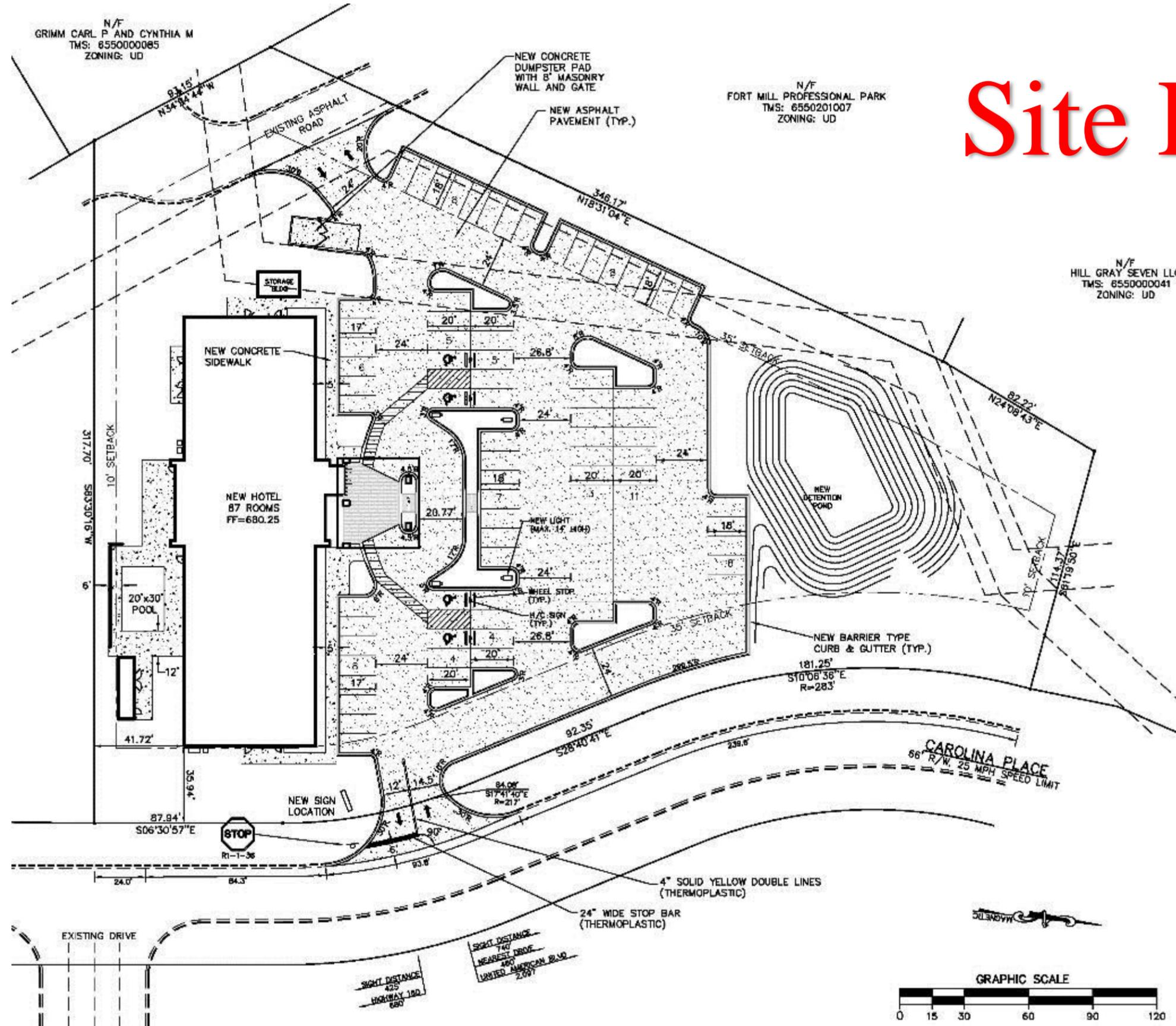
A copy of Article V, Section 5 of the Zoning Ordinance, which outlines the standards to be used in the commercial appearance review process, is attached.

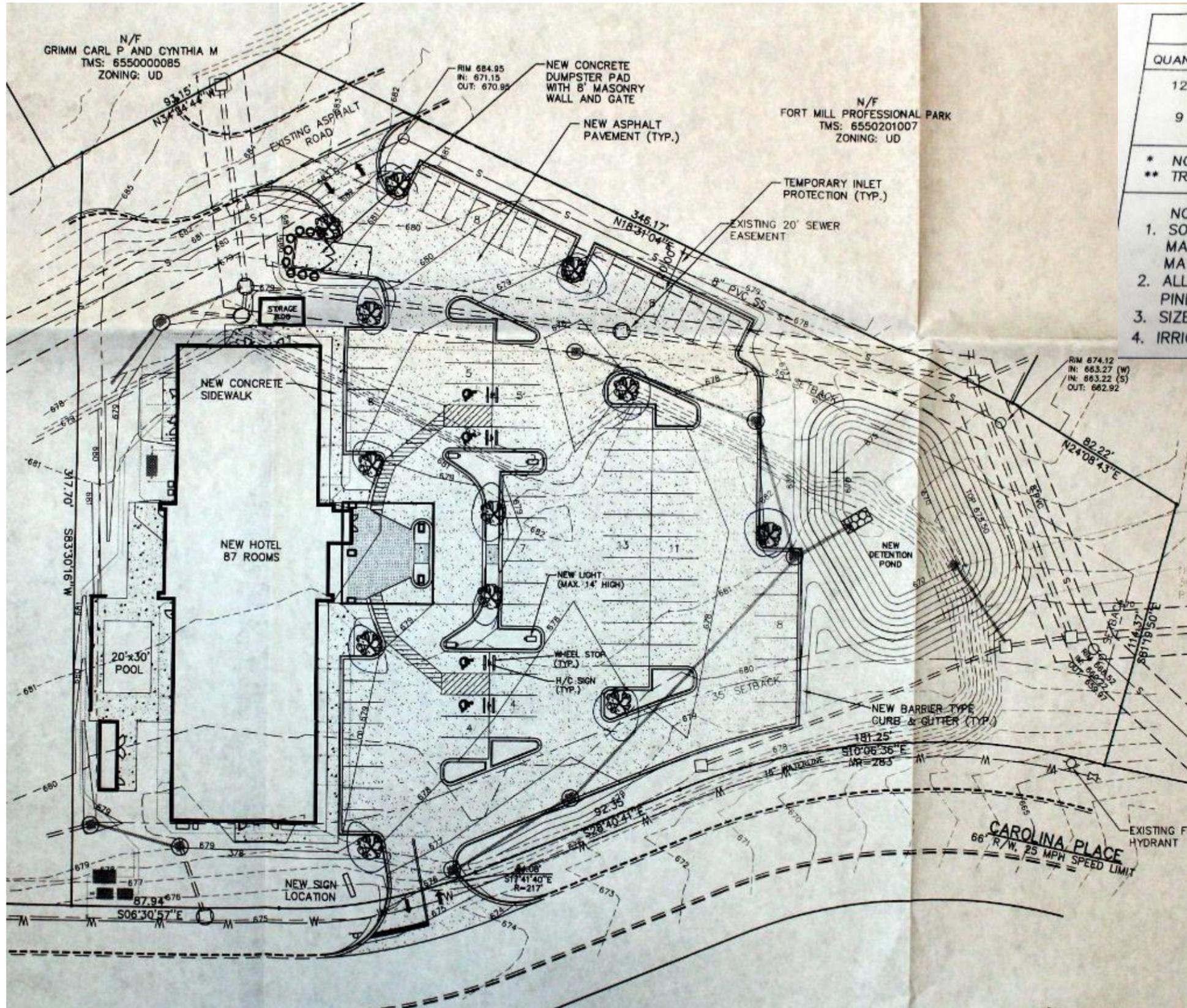
Chris Pettit, AICP  
Assistant Planner  
September 18, 2015





# Site Plan





PLANTING SCHEDULE					
QUANTITY	SYMBOL	COMMON NAME	SIZE	SPACING	CALIPER
12		WILLOW OAK	MIN. 10'	MIN. 25'	2"
9		INDIA HAWTHORN	3 GAL.	*	*

\* NOT APPLICABLE IN THIS CASE  
 \*\* TRELLISED TO FENCE

NOTES:  
 1. SOIL IN PLANTING BEDS SHOULD BE AMENDED WITH ORGANIC MATERIAL AS APPROPRIATE FOR PROPER GROWTH OF PLANT MATERIALS. A SOILS TEST IS RECOMMENDED.  
 2. ALL PLANTING BEDS WILL BE MULCHED WITH A HARDWOOD OR PINESTRAW MULCH.  
 3. SIZE IS MINIMUM PLANTED HEIGHT.  
 4. IRRIGATION SHALL BE PROVIDED FOR ALL NEW PLANTINGS.

# Landscape Plan



## **Sec. 5. - Appearance standards.**

- 1) *Relationship of building site:*
  - A) The proposed commercial development shall be designed and sited to accomplish a desirable view as observed from adjacent streets.
  - B) Parking areas shall be enhanced with decorative elements, building wall extensions, plantings, berms, or other innovative means to screen parking areas from view from the streets.
  - C) Utility services shall be underground.
- 2) *Relationship to adjoining areas:*
  - A) Adjacent buildings of different architectural styles shall be made compatible by use of screens, sight breaks, materials, and other methods.
  - B) Landscaping shall provide a transition to adjoining property.
  - C) Texture, building lines, and mass shall be harmonious with adjoining property. Monotonous texture, lines, and mass shall be avoided.
- 3) *Landscaping:* Landscaping shall conform to article IV and other sections of this ordinance.
- 4) *Building design:*
  - A) Architectural style is not restricted. Quality of design and compatibility with surrounding uses shall provide the basis of the evaluation of the appearance of a proposed commercial development.
  - B) Materials shall be of good architectural character and shall be harmonious with adjoining buildings.
  - C) Materials shall be suitable for the type and design of the building. Materials which are architecturally harmonious shall be used for all exterior building walls and other exterior building components.
  - D) Materials and finishes shall be of durable quality.
  - E) Building components, such as windows, doors, eaves, and parapets, shall have appropriate proportion and relationships to one another.
  - F) Colors shall be harmonious and shall use compatible accents.
  - G) Mechanical equipment or other utility hardware on roof, ground, or buildings shall be screened from view with materials harmonious with the building.
  - H) Monotony of design shall be avoided. Variation in vegetation, detail, form, and siting shall be used to provide visual interest.
- 5) *Signs:*
  - A) Signs shall conform to the provisions of article III and this article.
  - B) Every sign shall be of appropriate scale and proportion in relation to the surrounding buildings.
  - C) Every sign shall be designed as an integral architectural element of the building and site to which it relates.
  - D) The colors, materials, and lighting of every sign shall be harmonious with the building and site to which it relates.
  - E) The number of graphic elements on a sign shall be held to the minimum needed to convey the sign's principal message and shall be in proportion to the area of the sign.
  - F) Each sign shall be compatible with signs on adjoining plots or buildings.
  - G) Corporation logos shall conform to the criteria for all other signs.

- 6) *Miscellaneous structures:* Miscellaneous structures and hardware shall be part of the architectural concept of the project. Materials, scale, and colors shall be compatible with the building and surrounding uses.