



**TOWN OF FORT MILL
PLANNING COMMISSION MEETING
October 18, 2016
112 Confederate Street
7:00 PM**

AGENDA

CALL TO ORDER

APPROVAL OF MINUTES

1. Regular Meeting: September 20, 2016 *[Pages 3–7]*

OLD BUSINESS ITEMS

1. **Site Plan Review: High School #3** *[Pages 8–19]*

Request from the Fort Mill School District for a partial appearance review of the Fort Mill High School #3 located on Fort Mill Parkway

2. **Commercial Appearance Review: Comfort Inn & Suites** *[Pages 20–30]*

Request from Diversified Enterprises, Inc. to grant commercial appearance review approval for a proposed Comfort Inn & Suites hotel located at the corner of Sutton Road and the I-77 northbound ramp (*Formerly Sleep Inn*)

3. **Commercial Appearance Review: SC 160 Building** *[Pages 31–48]*

Request from Kuester Commercial to revise an existing commercial appearance review approval for a proposed flex building (retail/office) located at 1474 SC Highway 160 E

NEW BUSINESS ITEMS

1. **Final Plat: Pecan Ridge Phase 2, Map 1** *[Pages 49–55]*

Request from R. Joe Harris & Associates, submitted on behalf of LGI Homes-SC, LLC, to review and approve a final plat (bonded) for Pecan Ridge Phase 2, Map 1

2. Annexation Request: 952 Tom Hall Street

[Pages 56–66]

An ordinance annexing York County Tax Map Number 736-00-00-019, containing approximately 0.28 +/- acres located at 952 Tom Hall Street

3. Town-Wide Zoning Map Update

[Pages 67–78]

An ordinance adopting a new Zoning Map for the Town of Fort Mill

ITEMS FOR INFORMATION / DISCUSSION

1. Special Called Meeting Request

ADJOURN

**MINUTES
TOWN OF FORT MILL
PLANNING COMMISSION MEETING
September 20, 2016
112 Confederate Street
7:00 PM**

Present: James Traynor, Hynek Lettang, Tom Adams, Ben Hudgins, Chris Wolfe, Tom Petty, Jay McMullen, Planning Director Joe Cronin, Assistant Planner Chris Pettit

Absent: None

Guests: Eric Smith (Pace Development), David Faulkner (Pace Development), Brian Pace (Pace Development), Jon Hattaway (Cumming/FMSD), Richard Jackson (JCS Architects/FMSD), Michael Ritchie (JCS Architects/FMSD)

Chairman Traynor called the meeting to order at 7:00 pm.

Mr. McMullen made a motion to approve the minutes from the August 16, 2016, meeting, with a second by Mr. Adams. Mr. Wolfe noted that the date at the top of the minutes was incorrect, as the meeting took place on August 16, 2016. The minutes were approved, as amended, by a vote of 7-0.

OLD BUSINESS ITEMS

- 1. Appearance Review (Vertical Elevations): Fort Mill High School #3:** Assistant Planner Pettit provided a brief overview of the request, the purpose of which was to review and approve the architectural design and building materials for the future High School #3 located on Fort Mill Parkway. Assistant Planner Pettit noted that the site plan was approved by the Planning Commission in August, and only the proposed building elevations and materials will be reviewed tonight. A discussion then took place.

Chairman Traynor asked if this would be a two or three story building. Michael Ritchie of JCS Architects responded that the building would be primarily two story, with some areas containing three stories.

Mr. Wolfe asked for an explanation of the proposed building materials. Mr. Ritchie stated that the building would be primarily brick and stone, with wood and glass accents. The low wall at the front of the building would be a matching stone veneer.

Mr. Adams inquired whether the school was designed to be expanded at a later date. Mr. Ritchie stated that there was additional space on the right side of the building (when viewed from the Fort Mill Parkway right-of-way) which could accommodate a future expansion.

Mr. McMullen expressed concern about the accumulation of ice and potential safety hazard on the sloped roof near the main entrance to the school.

Mr. Adams made a motion to approve the vertical elevations, architectural design, and proposed materials for High School #3. Mr. Wolfe seconded the motion. The motion was approved by a vote of 7-0.

NEW BUSINESS ITEMS

- 1. Rezoning Request: Pace Development Group:** Planning Director Cronin provided a brief overview of the request, the purpose of which was to review and provide a recommendation on the proposed rezoning of York County Tax Map Numbers 020-12-01-191, 020-12-01-192, 020-12-01-193 and 020-12-01-194, containing approximately 44.64 +/- acres located on Fort Mill Parkway, from PND Planned Neighborhood Development to R-15 Residential. Planning Director Cronin stated that the property was designated as “high-density residential” on the town’s future land use map. Planning Director Cronin noted that if the property were developed as multi-family residential, as recommended in the comprehensive plan, then staff would have concerns regarding the potential school enrollment and off-site traffic impact that would be generated by as many as 670 apartments. The R-15 single-family project proposed by the applicant, however, will generate approximately 84% fewer daily and peak hour trips than a multi-family project at this location. In addition, the enrollment impact to the school district from 75 single-family homes would be up to 89% less than if the property were rezoned to permit high density residential. Therefore, staff recommended in favor of the rezoning request from PND to R-15.

Mr. Adams stated that single-family residential was preferable for this location, as opposed to the multi-family request that was proposed several years ago.

Mr. Petty stated that he had to check the date on his agenda, as he hasn’t seen a new R-15 subdivision developed in the town for nearly 10 years. He added that it was nice to see a developer looking at building a low density, large lot subdivision, as few such projects have been built in the town in recent years.

Mr. Hudgins made a motion to recommend in favor of approving the rezoning request from PND to R-15 Residential. Mr. Petty seconded the motion. The motion was approved by a vote of 7-0.

- 2. Development Agreement: Pace Development Group:** Planning Director Cronin provided a brief overview of the request, the purpose of which was to review and provide a recommendation for a proposed development agreement for York County Tax Map Numbers 020-12-01-191, 020-12-01-192, 020-12-01-193 and 020-12-01-194, containing 44.64 +/- acres on Fort Mill Parkway. Planning Director Cronin highlighted the special requirements contained within the draft agreement, including modifications to minimum lot width, minimum lot area, minimum buffer requirements, minimum open space requirements, and the maximum number of residential units (75 units, or 1.68 dwelling units per acre). In addition, Planning Director Cronin noted that the applicant was proposing to donate a 1.25-acre site for a future fire station. Staff recommend in favor of approving the draft development agreement, as submitted.

Mr. Adams asked about the buffer shown on the concept plan between the property and the Whitegrove subdivision. Eric Smith of Pace Development responded that a 100' buffer was shown at the rear of the property, adjacent to the Whitegrove subdivision. Mr. Adams also asked whether the primary access road would line up with the new signalized intersection across from the high school site. Mr. Smith responded that it was their intent and plan to line up the access road with the school driveway.

Mr. McMullen asked whether a trail would be provided within the buffer area to allow for pedestrian connectivity to Whitegrove and Dobys Bridge Park. Brian Pace of Pace Development stated that they intend to include a trail within the buffer area. He had not had any discussion about tying in their trail with the one at Whitegrove, but he was supportive of the idea. The trail system on this property would not connect directly to the park property, but the applicant was supportive of stubbing their trail out to the neighboring property line to allow for future connectivity.

Mr. Wolfe inquired how the corridor overlay district would apply to the property. Planning Director Cronin responded that the property was subject to the requirements of COD-N, and would include a streetscape buffer and sidewalks along the bypass at least 8' in width.

Mr. McMullen asked what types of amenities would be included in the required "usable" open space. Mr. Smith responded that the usable open space would include trails, as well as ponds, which may be amenitized. Mr. Pace added that their plan was to leave as many existing trees on the property as possible.

Mr. McMullen questioned whether some curvature could be added to the internal road to minimize potential speeding problems. Mr. Pace stated that it would be difficult, given the narrowness of the property and minimum lot size requirements. Mr. McMullen also asked whether the concept plan, which shows 65 lots, was reflective of the final lot count. Both Mr. Smith and Mr. Pace responded in the affirmative.

Mr. Adams asked about the anticipated price points of the future homes. Mr. Smith stated that the actual prices are still to be determined; however, this project is envisioned to be a semi-custom "step-up" neighborhood, with estimated price points starting in the \$700's.

Planning Director Cronin noted that the FY 2016-17 budget included a \$2 million appropriation for construction of a new fire station. If the agreement is approved, the fire station would be located on the 1.25-acre parcel donated by the developer.

Mr. Hudgins made a motion to recommend in favor of approving the development agreement, as submitted. Mr. Lettang seconded the motion. The motion was approved by a vote of 7-0.

- 3. Rezoning Request: 314 N White Street:** Planning Director Cronin provided a brief overview of the request, the purpose of which was to review and provide a recommendation on the proposed rezoning of 314 N White Street from R-15 Residential to GI General Industrial. The property, which is currently owned by Wallace Coleman, contains an existing non-conforming

auto repair facility. The owner was seeking to rezone the property from R-15 to GI. Planning Director Cronin noted that the property was referenced on the town's future land use map as medium-density residential. In addition, the GI district is proposed to be eliminated in the new UDO. Therefore, staff recommended in favor of denying the rezoning request.

Mr. McMullen made a motion to recommend in favor of denying the rezoning request from R-15 to GI. Mr. Lettang seconded the motion. The motion to recommend denial was approved by a vote of 7-0.

- 4. Zoning Recommendation: Huntington Place Subdivision:** Planning Director Cronin provided a brief overview of the request, the purpose of which was to review and provide a zoning recommendation for the proposed annexation of the Huntington Place subdivision. Planning Director Cronin stated that the annexation election was approved on August 23rd with nearly 80% voting in favor. Before council adopts an ordinance annexing the subdivision, the Planning Commission must first recommend a zoning designation. He stated that the annexation petition included a requested zoning designation of GR-A General Residential. While the GR-A district is proposed to be eliminated under the new UDO, staff supported GR-A as an interim zoning designation.

Mr. Wolfe asked whether the town would be accepting the streets within the subdivision. Planning Director Cronin responded that the town would accept the transfer of any public street which is owned and maintained by the county; however, any private roads would remain private. A list of public and private roads was expressly referenced in the draft annexation ordinance.

Mr. Adams made a motion to recommend in favor of the annexation request with a zoning designation of GR-A General Residential. Mr. Wolfe seconded the motion. The motion was approved by a vote of 7-0.

ITEMS FOR INFORMATION / DISCUSSION

- 1. Fall Training Session for Planning & Zoning Officials:** Planning Director Cronin stated that he had been in contact with his counterpart in Tega Cay to discuss the upcoming joint training session for board and commission members. Staff will be contacting members of the Catawba Indian Nation to try to coordinate a session about the history of the Catawbas in the Fort Mill-Tega Cay area, as well as strategies for identification and preservation of significant archaeological sites.
- 2. FY 2016-17 Budget Update:** Planning Director Cronin notified members of the Planning Commission that council had given first reading approval to the FY 2016-17 Budget Ordinance on September 12, 2016. This year's budget will include funding for a 10-year update to the town's comprehensive plan. The comprehensive plan update will kick off this fall, and the final document must be adopted by council no later than January 2018. The budget also included funding to begin televising Planning Commission meetings on the town's cable access channel.

There being no further business, the meeting was adjourned at 8:17 pm.

Respectfully submitted,

Joe Cronin
Planning Director

**Planning Commission Meeting
October 18, 2016
Old Business Item**

Commercial Appearance Review: Fort Mill High School #3

Request from the Fort Mill School District for a partial appearance review of the Fort Mill high school #3 located on the Fort Mill Parkway.

Background / Discussion

The Planning Commission is asked to consider a request from the Fort Mill School District for a review of the Fort Mill high school #3 located on the Fort Mill Parkway. A map and site plan are attached for reference. The applicant received approval for the site layout at the Planning Commission's August 16th meeting and approval for the building elevations at the Planning Commission's September 20th meeting. **At this time, the applicant is requesting approval of all remaining items that require approval through the Planning Commission appearance review process, which includes landscaping, lighting, monument signage, and pedestrian pathways.**

The property (Tax Map # 020-12-01-201) is zoned R-10 Residential and portions of the property (500' from the outer edge of the Fort Mill Parkway ROW) are also subject to the requirements of the COD Corridor Overlay district and the COD-N Corridor Overlay (Node) district.

Recommendation

The property is zoned R-10 and is, therefore, properly zoned for a high school site. The COD and COD-N overlays also allow high school sites.

The following paragraphs detail staff's review of the compliance with COD and COD-N requirements. Staff has highlighted key requirements but not necessarily all requirements of the COD and COD-N overlays.

Landscaping and Buffers

The applicant has provided a landscape plan for review. Areas within 500' of the corridor are required to meet the landscaping regulations noted in the COD or COD-N overlay district. Areas of the site outside of the 500' line are required to meet the general landscape requirements of the zoning ordinance.

Upon review of areas outside of the COD or COD-N overlay districts, staff has determined that the landscape plan generally meets the requirements of the zoning ordinance. Staff will complete a final review prior to permitting and appropriately require additional landscaping to meet the requirements of the zoning ordinance at that time.

For the areas within the COD-N overlay district, the applicant has provided a planting chart to note the requirements for planting within the front setback (first 35' from corridor ROW). The chart incorrectly notes the requirements, as there should be 2 trees and 10 shrubs provided for every 2,500

square feet of planting area. Staff will work with the applicant to ensure that the final landscape plan meets or exceeds the minimum requirements for the setback plantings. As an additional note, portions of the plantings are shown on top of the town's water line easement. Prior to approving a final landscape plan, staff will ensure that the plantings are appropriately located off of the water line.

For areas within the COD overlay district, the applicant has also provided a chart to note the requirements for planting in the required 20' buffer from the corridor, which is correctly noted as 3 canopy trees, 6 understory trees, and 9 shrubs per 100 linear feet of frontage.

Screening of off-street parking areas is required, consisting of one row of evergreen shrubs planted five feet on center. The applicant has provided screening for the parking areas nearest the corridor, however screening was not provided for the teacher parking lot on the western side of the property. Should the parking area be visible from the corridor, screening would be required. Staff will coordinate this during construction.

In regards to the provided tree survey, 11 trees 30" or greater are to be removed and replaced with 6" trees of similar species. Those trees are provided in the courtyard areas on the western side of the school building.

Lighting

Lighting on the site is required to conform to the requirements of the zoning ordinance, which limits the lighting height to 16'. The applicant has requested a variance to increase the allowable lighting heights onsite for the parking areas and athletic fields. Should the applicant receive a variance, lighting would be limited to the heights as approved by the Board of Zoning Appeals.

Per the COD-N overlay requirements "lighting shall be installed within the streetscape zone (the first 15 feet of the setback closest to the corridor)" in order to provide adequate lighting to create a safe pedestrian realm. At this time, the applicant is requesting to not provide lighting along the pedestrian pathways on the corridor within the COD-N overlay district.

The Planning Commission, at their discretion, would need to approve this deviation in the requirements using the procedure noted in Subsection 17 "Alternative means of compliance" within the COD-N overlay code.

Signage

A signage plan has been provided, showing the proposed monument signs for the property. The signs, as presented, are within the required limits as noted in the COD/COD-N overlay district requirements. The final placement of signage is to be coordinated with staff to ensure that all setback requirements are met and that visibility is not impaired for drivers entering or exiting the driveways.

Pedestrian Pathways

An 8' pedestrian pathway shall be required along the Fort Mill Parkway and Whites Road per the COD and COD-N overlay district requirements.

The pathways along the street frontages would additionally be required to connect to the internal network of sidewalks so that a pedestrian could access the internal site/building without getting off of a pathway. Internal pathways within parking areas and crosswalks over entry driveways shall be distinguished from asphalt surfaces “through the use of durable, low maintenance, surface materials such as pavers, bricks, or scored, stamped or colored concrete”.

In regards to the sidewalk along the parkway, staff would recommend that the eastern portion extend into the right-of-way going toward the intersection as opposed to following the property line. This would need to be worked out through an encroachment permit through SCDOT. The western portion should extend to the edge of the creek, wherein a fee-in-lieu will be required to pay for the required creek crossing.

The applicant has provided a pedestrian pathway plan (as shown on the signage plan attached below) that differs from the requirements stated previously. The Planning Commission shall have the discretion to determine if the proposed plan meets the requirements, and intent, of the COD-N overlay district requirements.

Staff has requested a copy of a pedestrian pathway plan that distinctly highlights the pathways the applicant has proposed. Staff would suggest discussing with the applicant the proposed plan, specifically regarding pathways installed on the corridor west of the main entrance, pathways installed on the corridor east of the student entrance, internal pathway and crosswalk designs (distinguished materials), as well as pathways installed along the Whites Road frontage.

The Planning Commission, at their discretion, would need to approve any deviation in the requirements using the procedure noted in Subsection 17 “Alternative means of compliance” within the COD-N overlay code.

District Purpose

As a final note, staff has included the purpose of the COD/COD-N overlay district:

Purpose. The corridor overlay district is established for the purpose of maintaining a safe, efficient, functional and attractive roadway corridor for the Fort Mill Southern Bypass (the "Bypass") and surrounding areas. It is recognized that, in areas of high visibility, the protection of features that contribute to the character of the area and enhancements to development quality promote economic development and stability in the entire community.

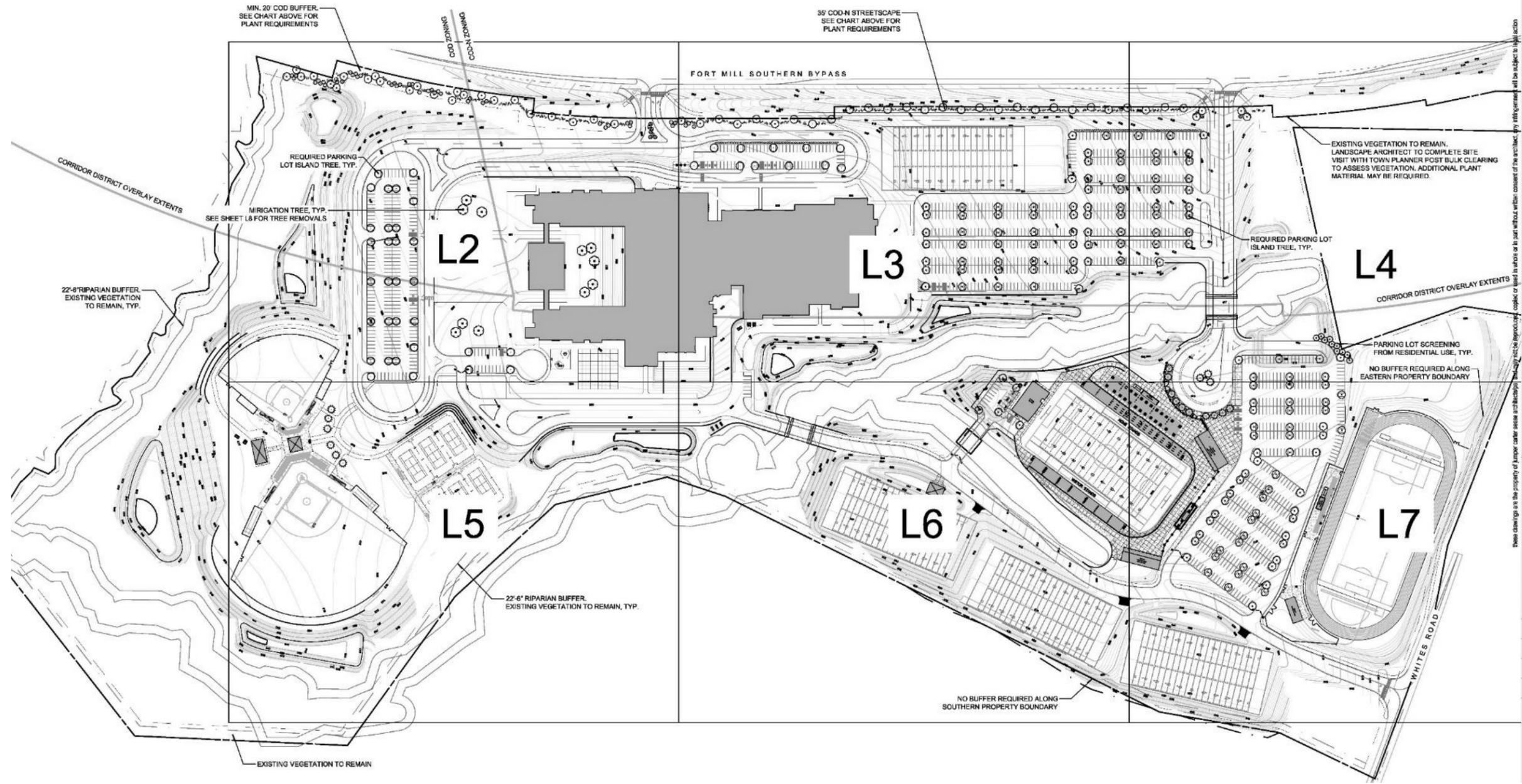
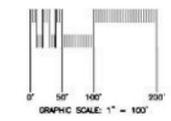
Should the Planning Commission feel as though strict interpretation and application of the requirements creates a hardship, the code does provide a procedure for “alternative means of compliance.”

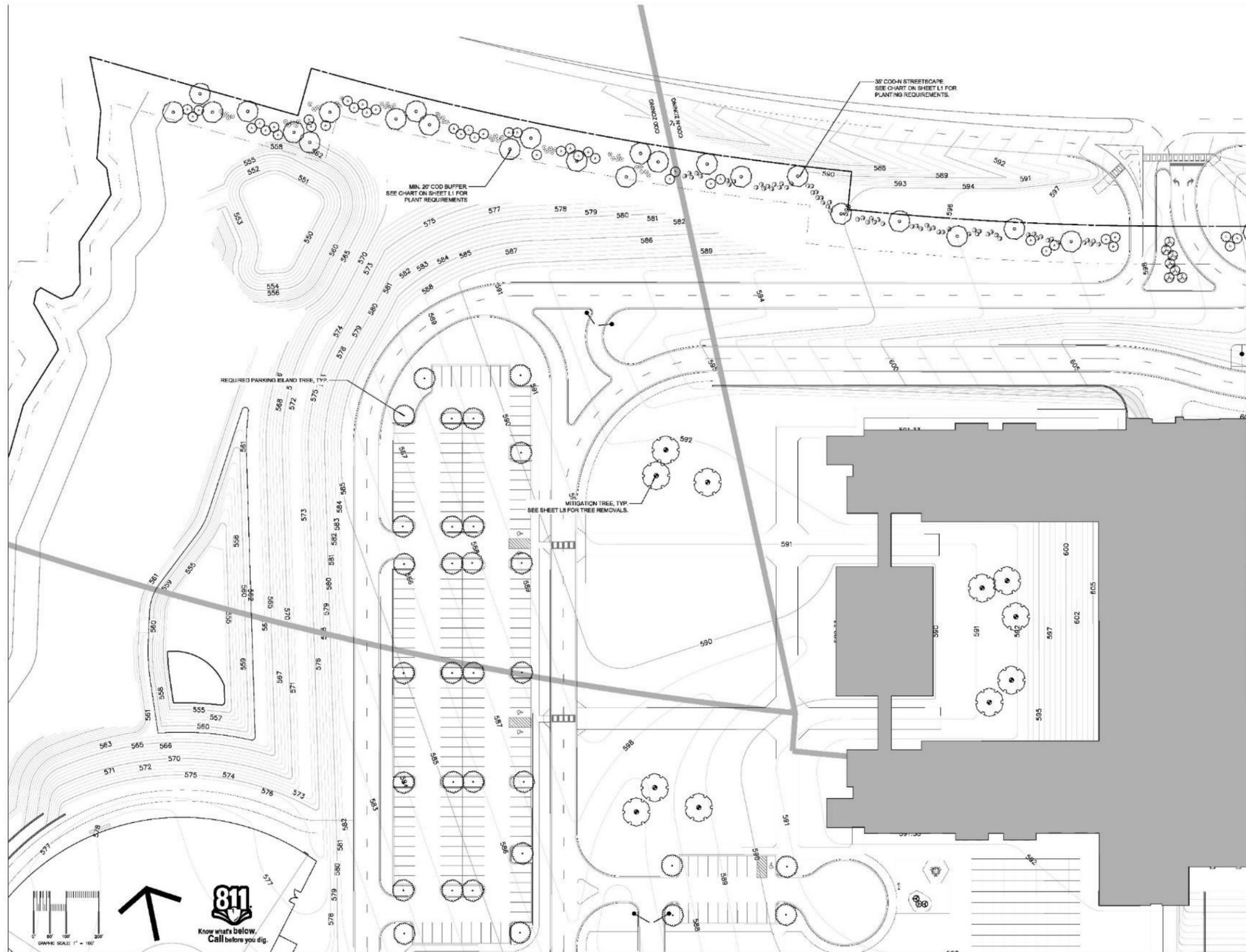
Chris Pettit, AICP
Assistant Planner
October 14, 2016

NORTHERN PROPERTY LINE COD BUFFER (510 L.F.)					
VEGETATION TYPE	REQUIRED PER 100 L.F.	TOTAL REQUIRED	EXISTING	PROPOSED	TOTAL
CANOPY TREE	3	16	0	16	16
UNDERSTORY TREE	8	31	0	31	31
SHRUB	9	46	0	46	46

NORTHERN PROPERTY LINE COD-N BUFFER (68,342 SF)					
VEGETATION TYPE	REQUIRED PER 2,500 SF	TOTAL REQUIRED	EXISTING	PROPOSED	TOTAL
TREE	3	58	0	58	58
SHRUB	9	274	0	274	274

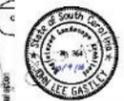
NOTE: 60% OF TREES SHALL BE CANOPY TREES (MINIMUM OF 2" CALIPER AT TIME OF PLANTING). 40% OF SHRUBS SHALL BE EVERGREEN.





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**FORT MILL HIGH SCHOOL #3
FORT MILL SCHOOL DISTRICT
FORT MILL, SOUTH CAROLINA**

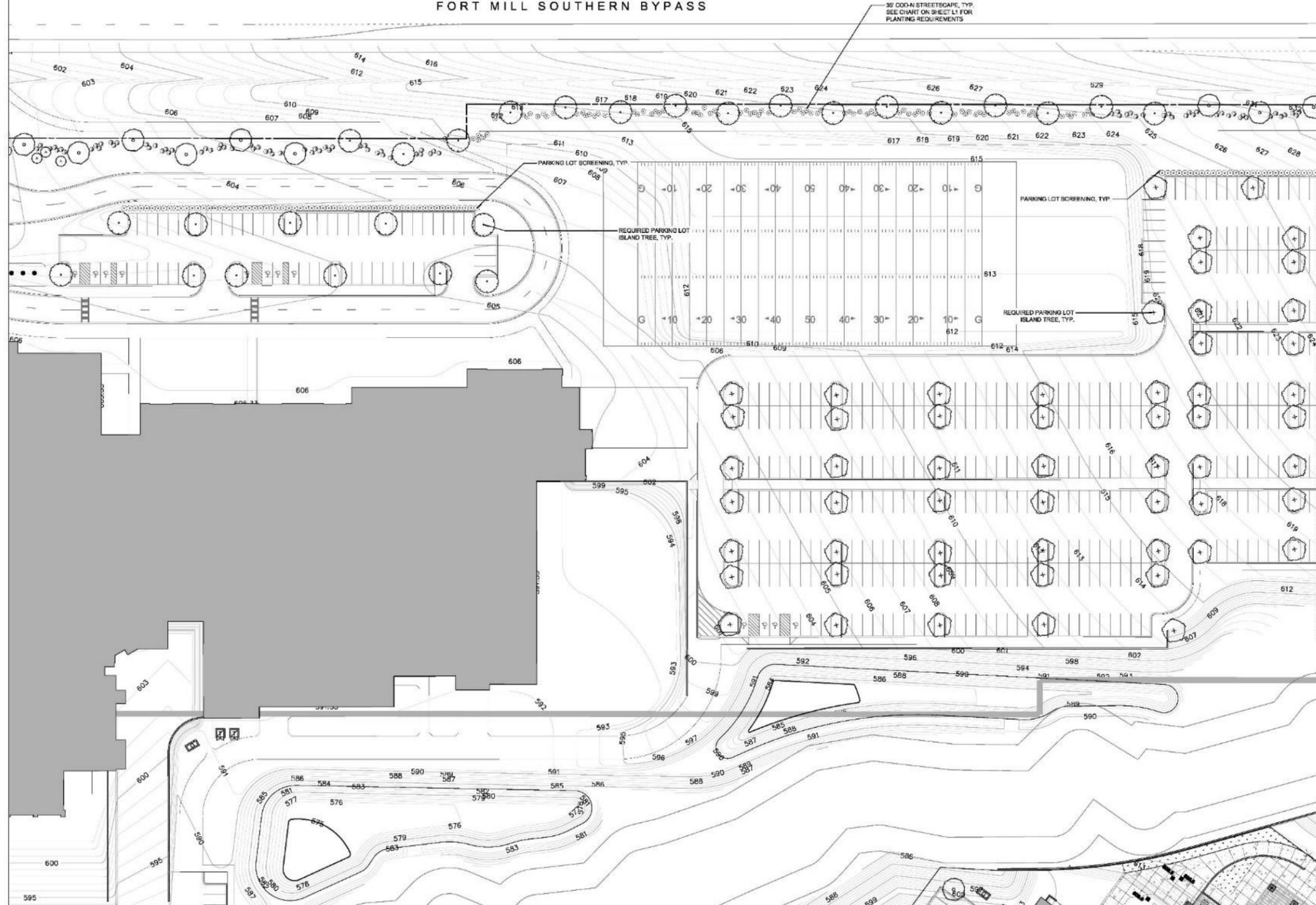
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COMM NO: 16001
DATE: OCT 4, 2016
SHEET TITLE: PLANTING PLAN

SHEET NO: L2



FORT MILL SOUTHERN BYPASS



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FORT MILL HIGH SCHOOL #3
FORT MILL SCHOOL DISTRICT
FORT MILL, SOUTH CAROLINA

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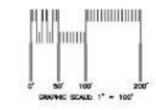
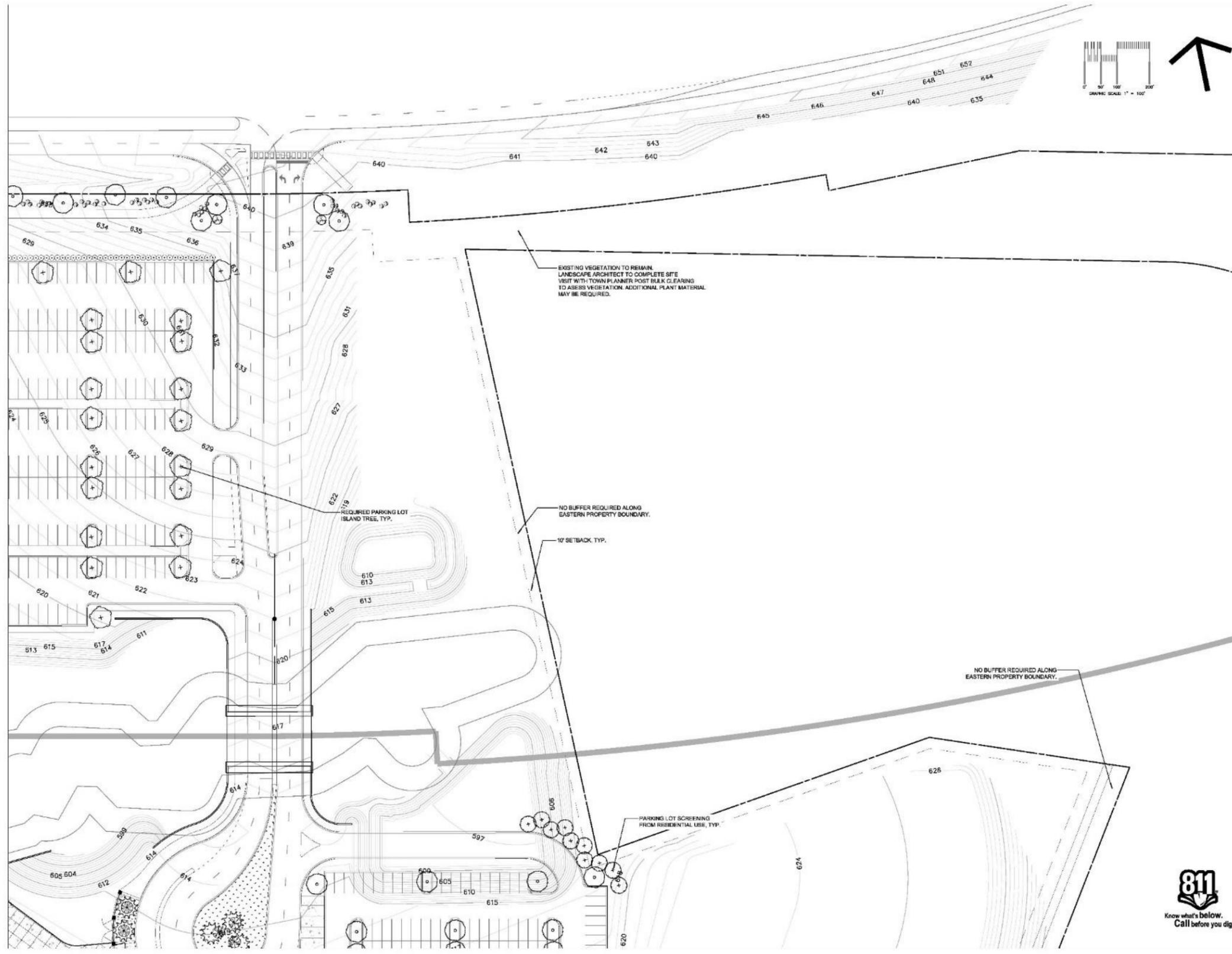
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DATE: OCT 4, 2016

SHEET TITLE: PLANTING PLAN

SHEET NO: L3



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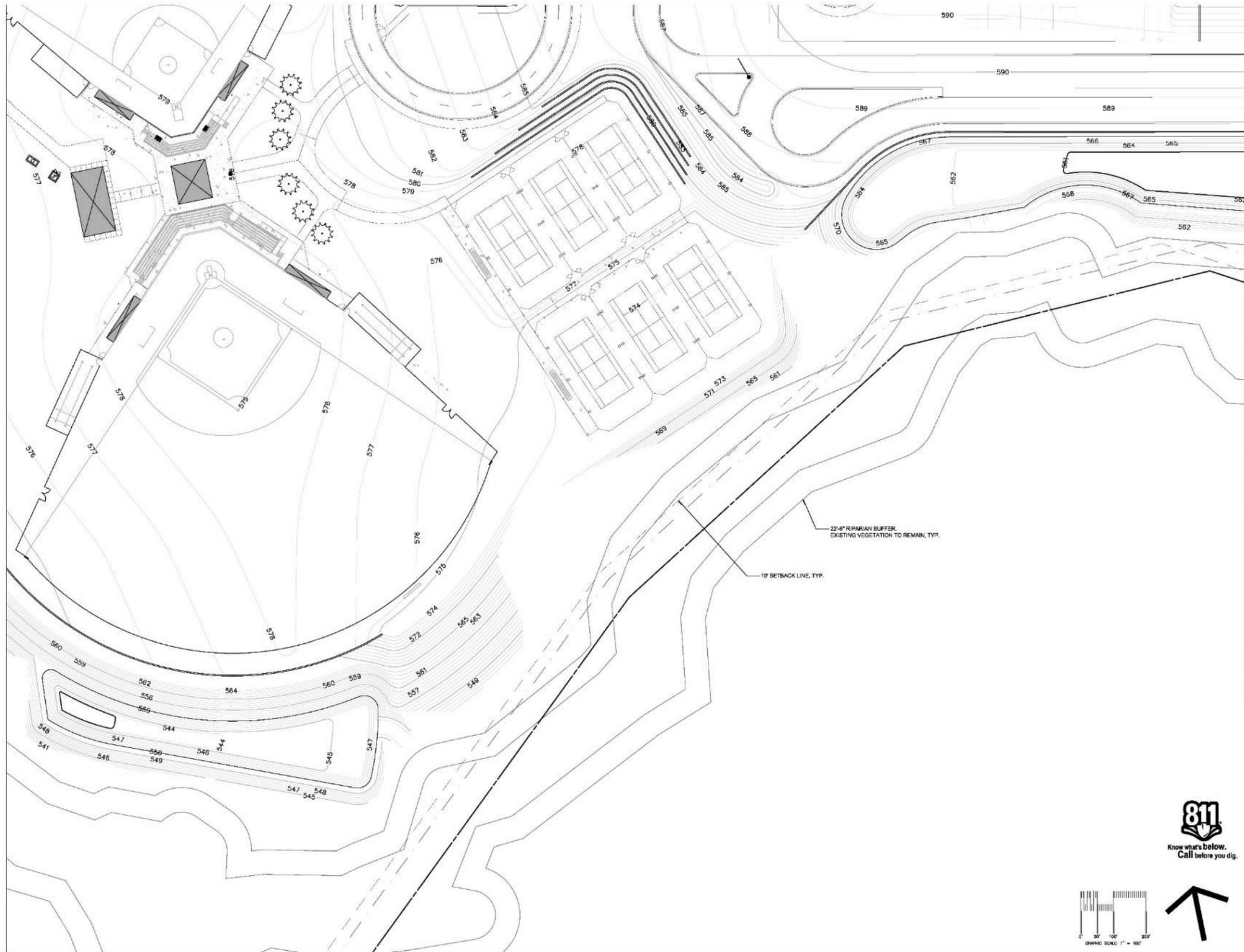
FORT MILL HIGH SCHOOL #3
FORT MILL SCHOOL DISTRICT
FORT MILL, SOUTH CAROLINA

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SHEET NO: L4





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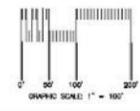
**FORT MILL HIGH SCHOOL #3
FORT MILL SCHOOL DISTRICT
FORT MILL, SOUTH CAROLINA**

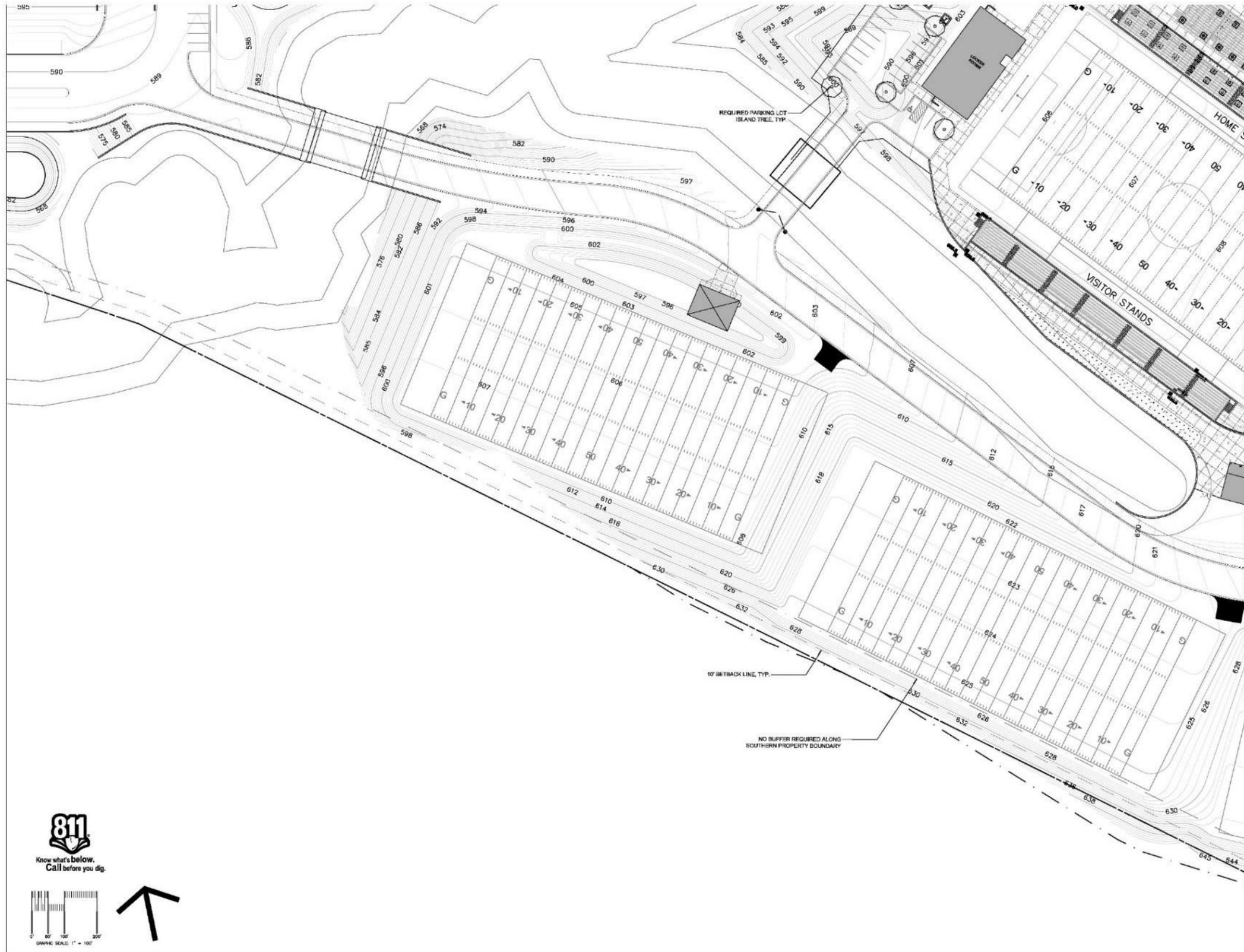
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**FORT MILL HIGH SCHOOL #3
FORT MILL SCHOOL DISTRICT
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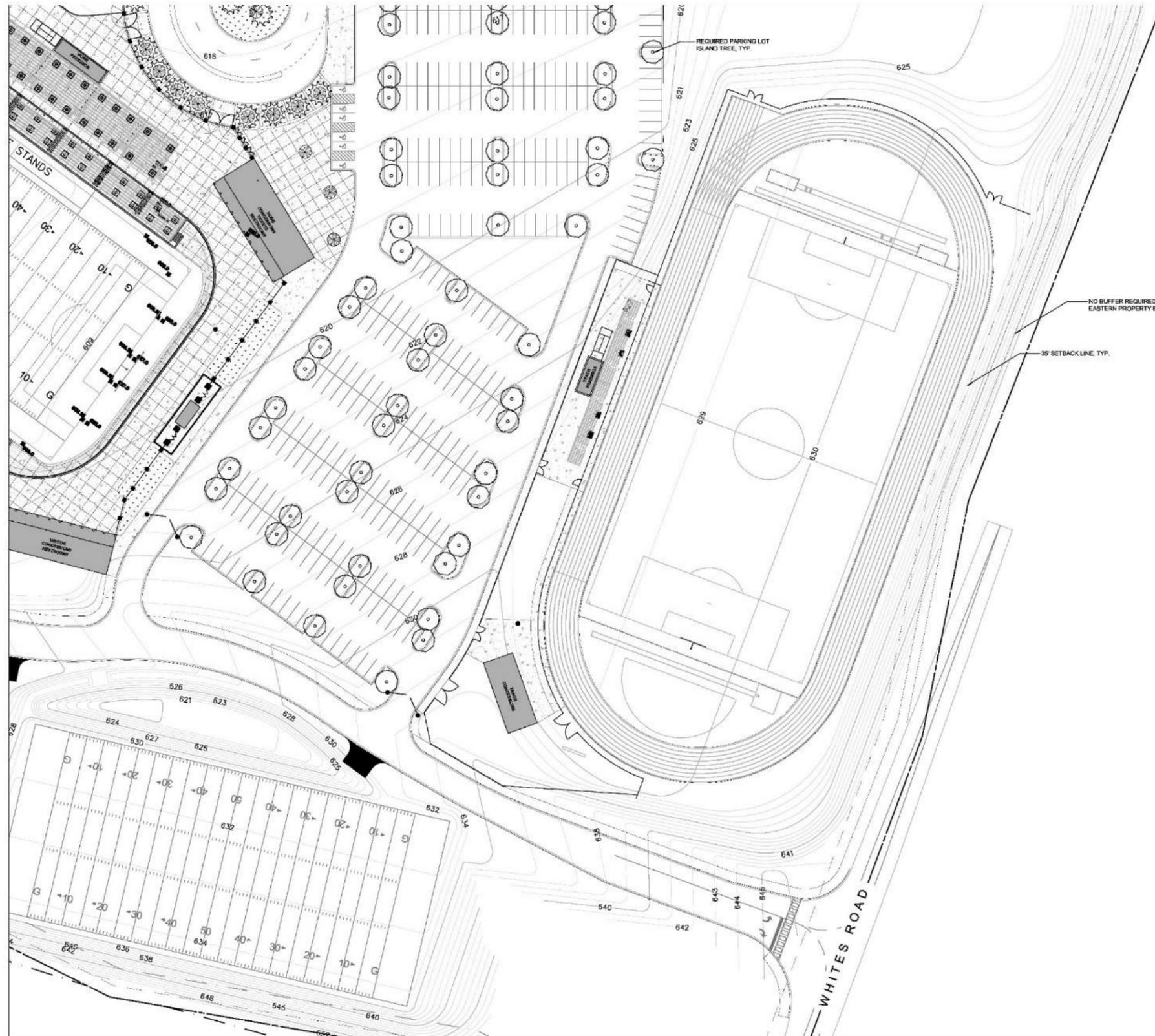
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Know what's below.
Call before you dig.

GRAPHIC SCALE: 1" = 100'



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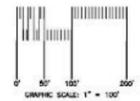


FORT MILL HIGH SCHOOL #3
FORT MILL SCHOOL DISTRICT
FORT MILL, SOUTH CAROLINA

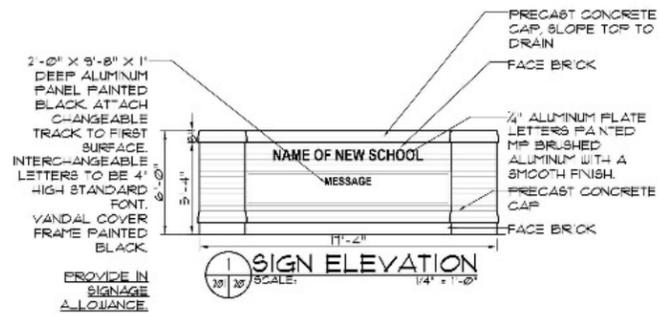
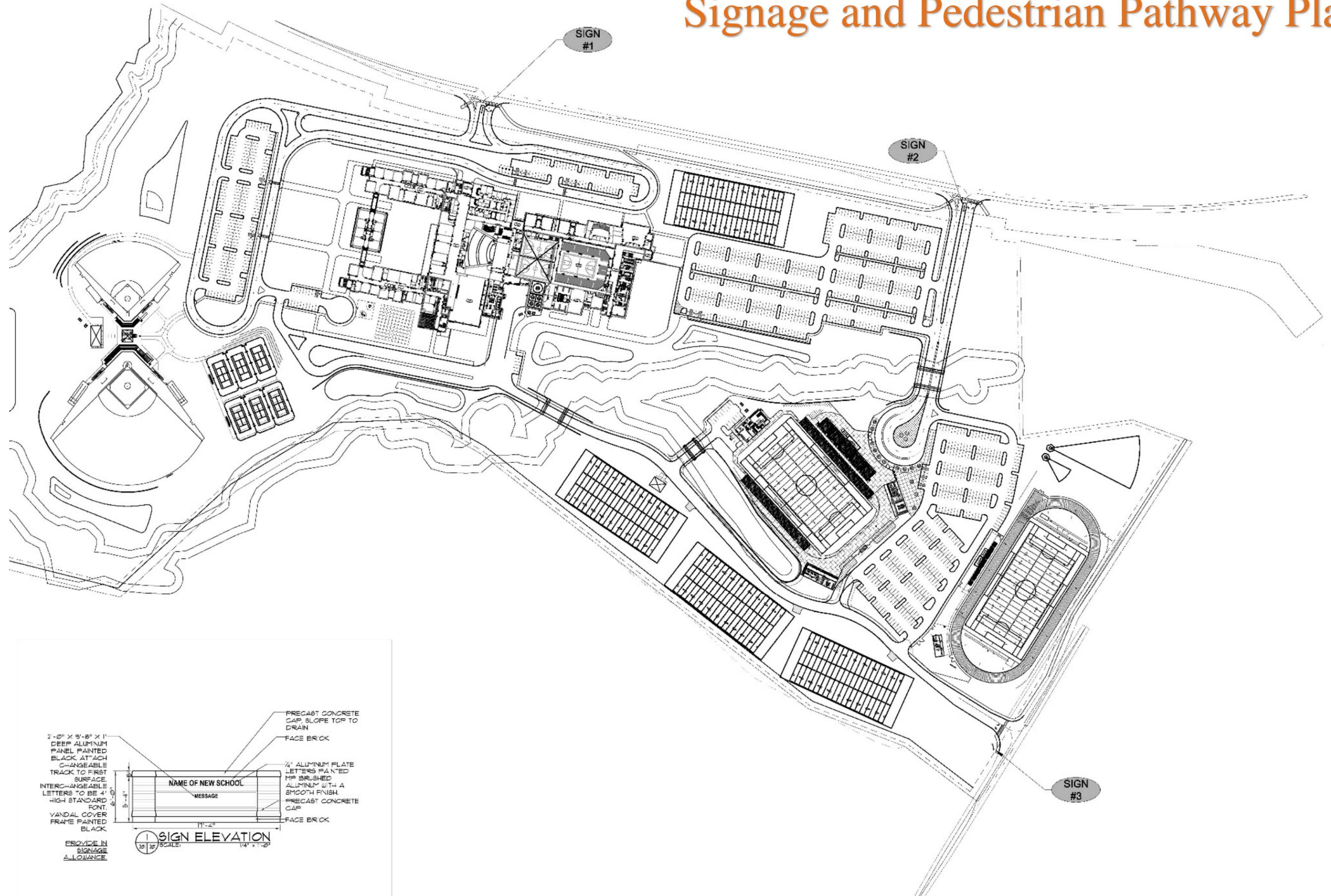
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SHEET NO: L7



Signage and Pedestrian Pathway Plan



**Planning Commission Meeting
October 18, 2016
New Business Item**

Commercial Appearance Review: Comfort Inn & Suites

Request from Diversified Enterprises, Inc. to grant commercial appearance review approval for a proposed Comfort Inn & Suites hotel located at the corner of Sutton Road and the I-77 northbound ramp

Background / Discussion

The Planning Commission is asked to consider a request from Diversified Enterprises, Inc. to grant commercial development appearance review approval for a proposed Sleep Inn hotel at the corner of Sutton Road and the I-77 northbound exit 83 ramp. A map and site plan are attached for reference.

The property (Tax Map # 020-20-01-044) is zoned Highway Commercial (HC) wherein hotels are a permitted use. The property is also subject to the requirements of the COD-N Corridor Overlay (Node) district.

The property was previously approved for a Sleep Inn hotel, which was approved for commercial appearance review by the Planning Commission on August 25, 2015. Since that time, the applicant has revised the site plan and building elevations for a newly proposed Comfort Inn & Suites.

The proposed building elevations, site plans and landscaping plans are attached for review. A full set of building designs will be available during the Planning Commission meeting. The exterior of the four-story hotel will primarily feature EIFS (multiple colors) with brick accents.

The landscape plan includes a mixture of shade trees within the parking lot and along the Sutton Road property line. Hollies were included as screening for the property and the proposed dumpster enclosure.

Recommendation

The property is zoned HC and is, therefore, properly zoned for a hotel and future restaurant use. The COD-N overlay also allows hotels and restaurant uses.

The following paragraphs detail staff's review of the site plan's and elevation's compliance with COD-N requirements. Staff has highlighted key requirements but not necessarily all requirements of the COD-N overlay.

As a note, the town's fire marshal has concerns with the clearance of the porte cochere and the turnaround ability for fire apparatus in front of the hotel. Staff has contacted the applicant and hopes to have a solution worked out prior to the Planning Commission meeting.

Setback and Height

The proposed building and associated improvements meet the setback and height requirements of the COD-N overlay. Since the underlying zoning (HC) does not have a maximum building height when located within 1,500 linear feet of I-77, the hotel building is not subject to a maximum building height. The retaining wall (key note #4) is located within the setback from the corridor and therefore would be subject to a maximum 10' height limit per the COD-N requirements. A grading plan and/or wall design was not provided to verify the height of the wall and therefore will need to be verified through the approval process by the applicant.

Building Placement and Orientation

In regards to building placement/orientation, the COD-N overlay notes that buildings shall be oriented toward the public street(s) and:

...development will be designed to bring buildings closer to the road edge to better define the public space of the streets enhanced by landscaping and pathways and create a scale that is more appropriate for a pedestrian traffic.

Additional sections of the overlay also note that buildings are to be brought up to the street, oriented toward the street, to create a pedestrian scale atmosphere. The section regarding off-street parking notes that:

Off-street parking in the district shall be located to the side or rear of the structure(s) located nearest to the public road(s), to the extent practicable. Where parking is located between a structure and the corridor, it shall be limited to one bay of parking (i.e., two rows of parking spaces with one shared drive aisle between the rows of spaces).

The Planning Commission shall have the discretion to determine if the proposed plan meets the requirements, and intent, of the COD-N overlay district requirements.

Building Materials

The proposed hotel uses primarily EIFS (multiple colors) for the facades, with brick used for the primary entrance and as a secondary material elsewhere on the facades. The COD-N overlay provides the following requirements for building materials and architectural design:

Architectural features/façade treatments:

- 1) **Materials:**
 - (a) Buildings shall be designed to use building materials such as rock, stone, brick, stucco, concrete, wood or Hardiplank.
 - (b) No mirrored glass shall be permitted on any facades in COD-N, and mirrored glass with a reflectance no greater than 20 percent shall be permitted in COD.
 - (c) Corrugated metal shall not be used on any facade.
- 2) In COD-N, variations in the rooflines and facades of adjacent buildings shall be encouraged to avoid monotony.
- 3) In COD-N, any nonresidential façade facing the corridor or any other street shall be articulated with architectural features and treatments, such as windows, awnings,

scoring, trim, and changes in materials (i.e., stone "water table" base with stucco above), to enhance the quality of pedestrian environment of the public street, particularly in the absence of a primary entrance.

The Planning Commission shall have the discretion to determine whether the proposed design and materials best meets the requirements, and intent, of the COD-N overlay district.

Landscaping

The applicant has supplied a landscape plan showing shade trees along the corridor and within the parking lot as well as hollies to screen the property and a proposed dumpster enclosure. The landscaping, as proposed, meets the requirements of the COD-N overlay district and all other landscaping related requirements of the zoning ordinance.

The applicant has not supplied a tree survey noting the presence of significant trees on the property. A tree survey shall be provided prior to issuance of a land disturbance permit. The plan shall note all trees 30" or greater and additionally specify which trees are to be removed during the development process. Each 30" tree that is removed shall be replaced with a 6" caliper tree of similar species. Replacement trees can be utilized to meet other tree requirements, therefore the total number and/or location of trees on the landscape plan would not have to change. However, the location of all replacement 6" caliper trees would need to be called out on the final landscape plan.

Lighting

A lighting plan would be required for the project, however one was not provided with the submission. The COD-N overlay notes that "Lighting shall be installed within the streetscape zone (the first 15 feet of the setback closest to the corridor)" to provide a safe pedestrian realm. Lighting within the interior of the project would need to be a maximum of 28' in height.

Pedestrian Pathways

The applicant has provided an 8' pedestrian pathway along the corridor per the COD-N overlay requirements and has provided a pathway connection to the hotel and future restaurant use. Within the COD-N overlay district, crosswalks and internal pedestrian pathways within parking areas are to be distinguished "through the use of durable, low maintenance, surface materials such as pavers, bricks, or scored, stamped or colored concrete". The applicant has provided a crosswalk across the proposed driveway and internal pedestrian pathways that are noted as painted/stamped asphalt. The Planning Commission shall have the discretion to determine whether the proposed design best meets the requirements, and intent, of the COD-N overlay district.

Driveways

In relation to driveways, the COD-N overlay code notes that internal stub-outs and/or access easements are to be provided where feasible. Staff will note that the current plan does not show any access easements or stub-outs, however the plan does note that the driveway could be extended to the property at the rear of the hotel. An access easement should be provided to allow for the connection should the adjacent property be developed in the future.

Signage

The applicant has provided plans for a monument sign, however it does not meet the requirements of the COD-N overlay district. A monument sign for the property would be limited to 7 feet in height, maximum sign face area of 50 square feet, be set back at least 5' from the corridor right of way, and have no internal lighting. As presented, the applicant has requested a 24' 8" tall monument sign with 168 square feet of sign face area and internal illumination. The proposed site plan does not provide a location for the signage, therefore the location could not be verified as to meeting the setback requirements. Wall signage, as proposed on the front façade of the hotel, meets the requirements of the zoning ordinance.

The Planning Commission, at their discretion, would need to approve any deviation in the requirements using the procedure noted in Subsection 17 "Alternative means of compliance" within the COD-N overlay code.

Retaining Walls

The material(s), color(s) and texture(s) of the sides of the retaining walls and fences visible from public view shall complement the finishes of the structures of the associated development and must be approved by the planning commission. The plan, as provided, shows a retaining wall surrounding portions of the northern, eastern, and southern property lines. Details specific to the retaining wall have not been provided and will require future approval through the Planning Commission. As noted previously, retaining walls within the front setback may not exceed 10' in height.

The Planning Commission, at their discretion, would need to approve this deviation using the procedure noted in Subsection 17 "Alternative means of compliance" within the COD-N overlay code.

District Purpose

As a final note, staff has included the purpose of the COD/COD-N overlay district:

Purpose. The corridor overlay district is established for the purpose of maintaining a safe, efficient, functional and attractive roadway corridor for the Fort Mill Southern Bypass (the "Bypass") and surrounding areas. It is recognized that, in areas of high visibility, the protection of features that contribute to the character of the area and enhancements to development quality promote economic development and stability in the entire community.

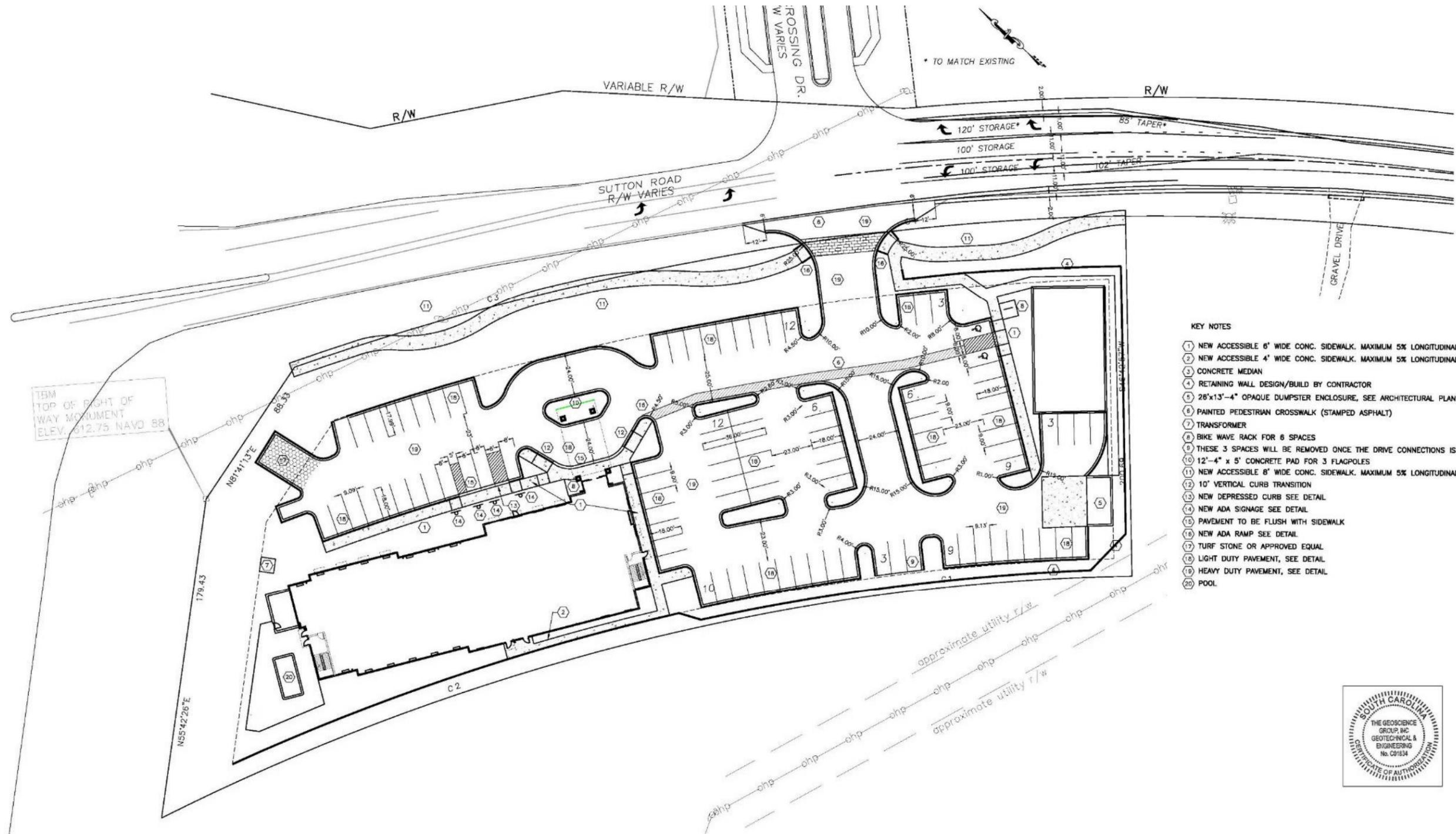
Should the Planning Commission feel as though strict interpretation and application of the requirements creates a hardship, the code does provide a procedure for "alternative means of compliance."

Chris Pettit, AICP
Assistant Planner
October 14, 2016





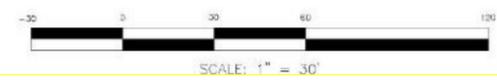
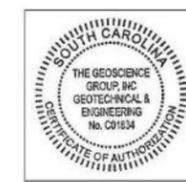
***Staff will note that the supplied rendering (above) does not match precisely the building elevations as provided. However, it does provide a general sense of the architecture of the proposed hotel structure.**

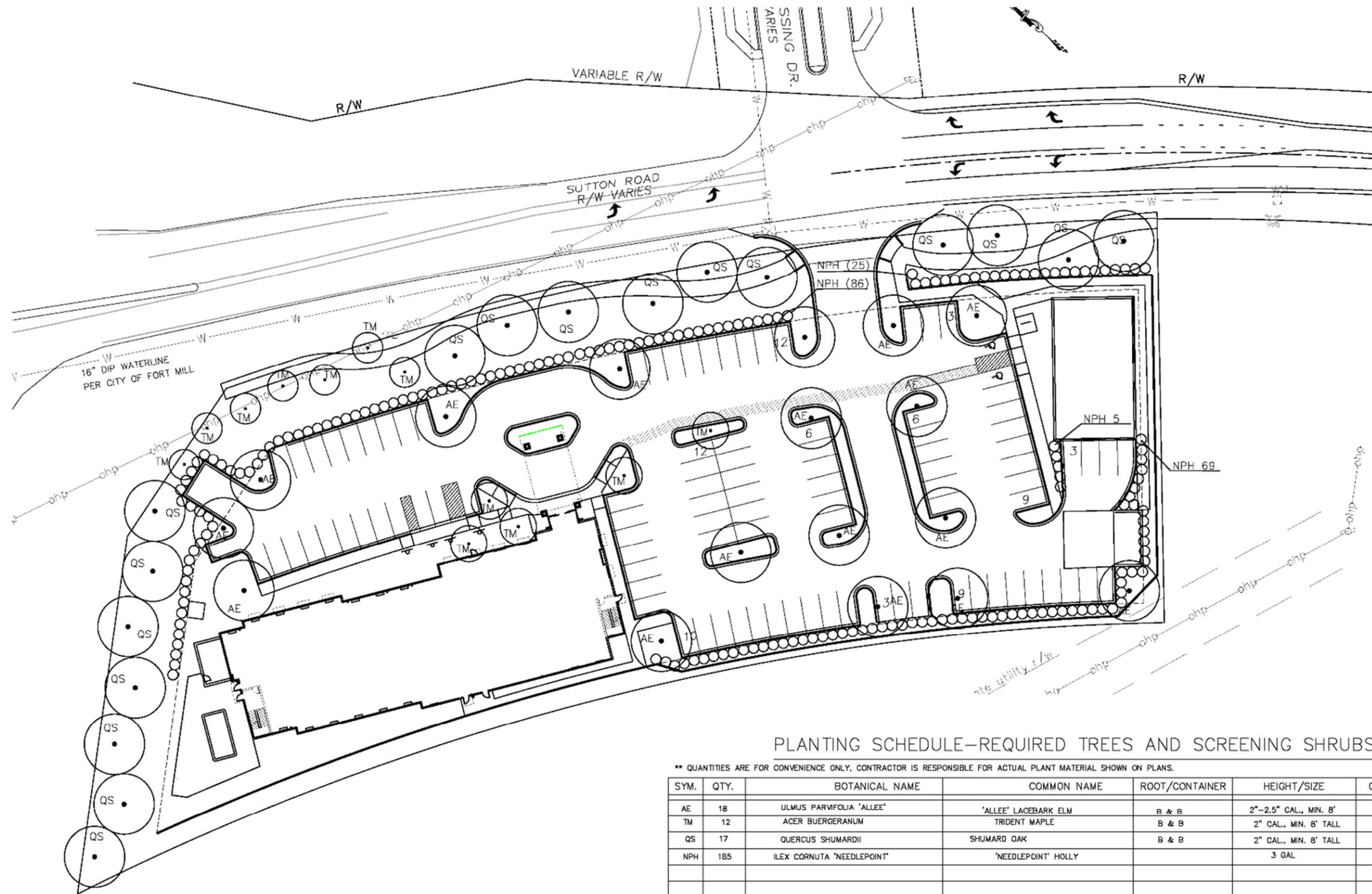


TBM
TOP OF RIGHT OF
WAY MONUMENT
ELEV. 612.75 NAVD 88

KEY NOTES

- ① NEW ACCESSIBLE 6' WIDE CONC. SIDEWALK. MAXIMUM 5% LONGITUDINAL SLOPE, 2% CROSS SLOPE. SEE DETAIL
- ② NEW ACCESSIBLE 4' WIDE CONC. SIDEWALK. MAXIMUM 5% LONGITUDINAL SLOPE, 2% CROSS SLOPE. SEE DETAIL
- ③ CONCRETE MEDIAN
- ④ RETAINING WALL DESIGN/BUILD BY CONTRACTOR
- ⑤ 28'x13'-4" OPAQUE DUMPSTER ENCLOSURE, SEE ARCHITECTURAL PLANS FOR DETAIL
- ⑥ PAINTED PEDESTRIAN CROSSWALK (STAMPED ASPHALT)
- ⑦ TRANSFORMER
- ⑧ BIKE WAVE RACK FOR 6 SPACES
- ⑨ THESE 3 SPACES WILL BE REMOVED ONCE THE DRIVE CONNECTIONS IS MADE TO ADJACENT PROPERTY
- ⑩ 12'-4" x 5' CONCRETE PAD FOR 3 FLAGPOLES
- ⑪ NEW ACCESSIBLE 8' WIDE CONC. SIDEWALK. MAXIMUM 5% LONGITUDINAL SLOPE, 2% CROSS SLOPE. SEE DETAIL
- ⑫ 10" VERTICAL CURB TRANSITION
- ⑬ NEW DEPRESSED CURB SEE DETAIL
- ⑭ NEW ADA SIGNAGE SEE DETAIL
- ⑮ PAVEMENT TO BE FLUSH WITH SIDEWALK
- ⑯ NEW ADA RAMP SEE DETAIL
- ⑰ TURF STONE OR APPROVED EQUAL
- ⑱ LIGHT DUTY PAVEMENT, SEE DETAIL
- ⑲ HEAVY DUTY PAVEMENT, SEE DETAIL
- ⑳ POOL





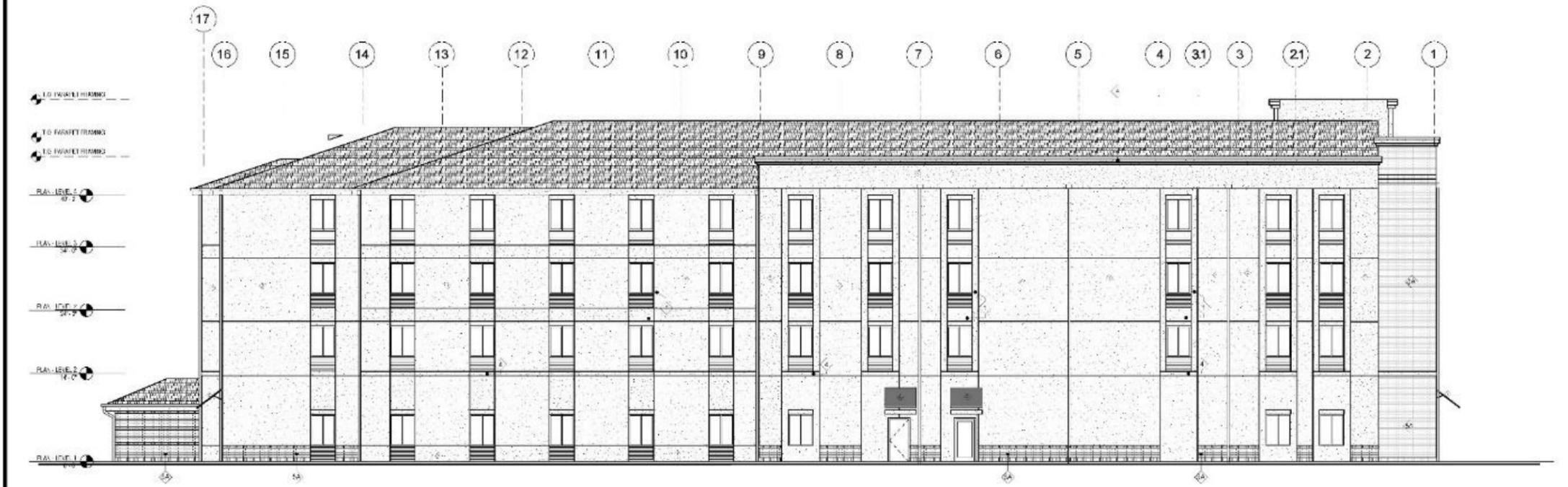
PLANTING SCHEDULE-REQUIRED TREES AND SCREENING SHRUBS

** QUANTITIES ARE FOR CONVENIENCE ONLY, CONTRACTOR IS RESPONSIBLE FOR ACTUAL PLANT MATERIAL SHOWN ON PLANS.

SYM.	QTY.	BOTANICAL NAME	COMMON NAME	ROOT/CONTAINER	HEIGHT/SIZE	COMMENTS
AE	18	ULMUS PARVIFOLIA 'ALLEE'	'ALLEE' LACEBARK ELM	B & B	2"-2.5" CAL., MIN. 8'	
TM	12	ACER BUERGERANUM	TRIDENT MAPLE	B & B	2" CAL., MIN. 8' TALL	
QS	17	QUERCUS SHUMARDII	SHUMARD OAK	B & B	2" CAL., MIN. 8' TALL	
NPH	185	ILEX CORNUTA 'NEEDLEPOINT'	'NEEDLEPOINT' HOLLY		3 GAL	



1 NORTH ELEVATION 1/8"=1'-0"



2 SOUTH ELEVATION 1/8"=1'-0"



1 EAST ELEVATION 1/8"=1'-0"

KEYNOTES - EXTERIOR ELEVATIONS - SCHEME A

Keynote Number	Description
1	EIFS: IVOIRE - SHERWIN WILLIAMS: SW 6127
2	EIFS: RAMIE - SHERWIN WILLIAMS: SW 6156
3	EIFS: SAWOUST - SHERWIN WILLIAMS: SW 6158
4	EIFS: NAVAJO WHITE - SHERWIN WILLIAMS: SW 6126
5A	BRICK: BURNT ALMOND (FW21-22) - GLEN GERY OPTIONAL STONE: CARAMEL 2007 COUNTRY LEDGESTONE - CULTURED STONE WHERE "OPTIONAL STONE" IS INDICATED ON DRAWINGS
5B	STONE: CARAMEL 2007 COUNTRY LEDGESTONE - CULTURED STONE OPTIONAL STONE: CARAMEL 2007 COUNTRY LEDGESTONE - CULTURED STONE WHERE "OPTIONAL STONE" IS INDICATED ON DRAWINGS
6	OPTIONAL AWNING: URBAN BRONZE - TO MATCH SHERWIN WILLIAMS: SW 7048
7	ENTRY DOOR: DARK BRONZE ANODIZED (STANDARD). UPGRADE OPTION: 7586 STOLEN KISS OR PPG334-7 APPLE-A-DAY - TO MATCH SHERWIN WILLIAMS: SW 0057
8	ALUMINUM: ANODIZED BRONZE TO MATCH WINDOW SYSTEM - BY MANUFACTURER
9	ASPHALT SHINGLES: DOVE GRAY - CERTAINTEED CORP

KEYNOTES - EXTERIOR ELEVATIONS - SCHEME B

Keynote Number	Description
1	EIFS: IVOIRE - SHERWIN WILLIAMS: SW 6127
2	EIFS: RESTRAINED GOLD - SHERWIN WILLIAMS: SW 6129
3	EIFS: MANNERED GOLD - SHERWIN WILLIAMS: SW 6130
4	EIFS: NAVAJO WHITE - SHERWIN WILLIAMS: SW 6126
5A	BRICK: BURNT ALMOND (FW21-22) - GLEN GERY OPTIONAL STONE: ASPEN 2008 COUNTRY LEDGESTONE - CULTURED STONE WHERE "OPTIONAL STONE" IS INDICATED ON DRAWINGS
5B	STONE: ASPEN 2008 COUNTRY LEDGESTONE - CULTURED STONE OPTIONAL STONE: ASPEN 2008 COUNTRY LEDGESTONE - CULTURED STONE WHERE "OPTIONAL STONE" IS INDICATED ON DRAWINGS
6	OPTIONAL AWNING: URBAN BRONZE - TO MATCH SHERWIN WILLIAMS: SW 7048
7	ENTRY DOOR: DARK BRONZE ANODIZED (STANDARD). UPGRADE OPTION: 7586 STOLEN KISS OR PPG334-7 APPLE-A-DAY - TO MATCH SHERWIN WILLIAMS: SW 0057
8	ALUMINUM: ANODIZED BRONZE TO MATCH WINDOW SYSTEM - BY MANUFACTURER
9	ASPHALT SHINGLES: DOVE GRAY - CERTAINTEED CORP

KEYNOTES - EXTERIOR ELEVATIONS - SCHEME C

Keynote Number	Description
1	EIFS: SIMPLIFY BEIGE - SHERWIN WILLIAMS: SW 6085
2	EIFS: SAND DUNE - SHERWIN WILLIAMS: SW 6086
3	EIFS: TRUSTY TAN - SHERWIN WILLIAMS: SW 6087
4	EIFS: MODEST WHITE - SHERWIN WILLIAMS: SW 6084
5A	BRICK: SPRING HUE VELOUR - GLEN GERY OPTIONAL STONE: ASPEN 2008 COUNTRY LEDGESTONE - CULTURED STONE WHERE "OPTIONAL STONE" IS INDICATED ON DRAWINGS
5B	STONE: ASPEN 2008 COUNTRY LEDGESTONE - CULTURED STONE OPTIONAL STONE: ASPEN 2008 COUNTRY LEDGESTONE - CULTURED STONE WHERE "OPTIONAL STONE" IS INDICATED ON DRAWINGS
6	OPTIONAL AWNING: URBAN BRONZE - TO MATCH SHERWIN WILLIAMS: SW 7048
7	ENTRY DOOR: DARK BRONZE ANODIZED (STANDARD). UPGRADE OPTION: 7586 STOLEN KISS OR PPG334-7 APPLE-A-DAY - TO MATCH SHERWIN WILLIAMS: SW 0057
8	ALUMINUM: ANODIZED BRONZE TO MATCH WINDOW SYSTEM - BY MANUFACTURER
9	FIBERGLASS SHINGLES: DOVE GRAY - CERTAINTEED CORP

3 EXTERIOR MATERIAL SCHEDULE

**Planning Commission Meeting
October 18, 2016
Old Business Item**

Commercial Appearance Review: 1474 SC Highway 160 E – Flex Building

Request from Kuester Commercial to revise an existing commercial appearance review approval (8/16/16) for a proposed flex (retail/office) building located at 1474 SC Highway 160 E.

Background / Discussion

The Planning Commission is asked to consider a request from Kuester Commercial to approve a revision to an existing commercial development appearance review approval (8/16/16) for a proposed commercial building located at 1474 SC Highway 160 E. The applicant currently has an approved site plan through the town as well as an approved driveway permit through SCDOT.

The applicant originally requested commercial appearance review at the Planning Commission's July 19th meeting, at which time concerns were discussed regarding the exposed metal siding on the rear facades, the overuse of EIFS, as well as a lack of decorative architectural elements. After subsequent meetings with staff, the applicant provided a revised submission for the Planning Commission to consider at their August 16th meeting. The applicant had revised the elevations to include stamped EIFS to simulate brick, a decorative cornice, and the removal of the most visible section of metal siding along with a change in the color of the remaining metal siding to match the proposed EIFS coloring. The Planning Commission ultimately granted commercial appearance review approval with the following conditions:

1. The canvas awnings as presented shall be replaced with metal awnings;
2. A 5' sidewalk shall be included along the Highway 160 East frontage stubbed out to neighboring properties;
3. Planters shall be included along the buildings front elevations to provide breaks in the length of the building;
4. A safety element is to be provided at the end of the driveway so as to provide additional safety from the large drop off at the edge of the parking area; and,
5. Staff shall be authorized to review and approve substitute materials in place of metal on the side and rear of the building (including painted CMU block, split faced block, scored block, EIFS, wood siding, fiber cement siding, or stucco).

Following the commercial appearance review approval from the Planning Commission, staff received (8/19/16) and approved a revised site/landscape plan meeting the required conditions related to the site plan listed above (conditions 2, 3, and 4 listed above).

Construction documents were subsequently received (10/4/16), which deviated from the approved design from the Planning Commission's August 16th approval. Through discussions with staff, the applicant noted that they felt as though the revisions were an improvement on the approved design and would therefore request a revision rather than moving forward with the existing approved design.

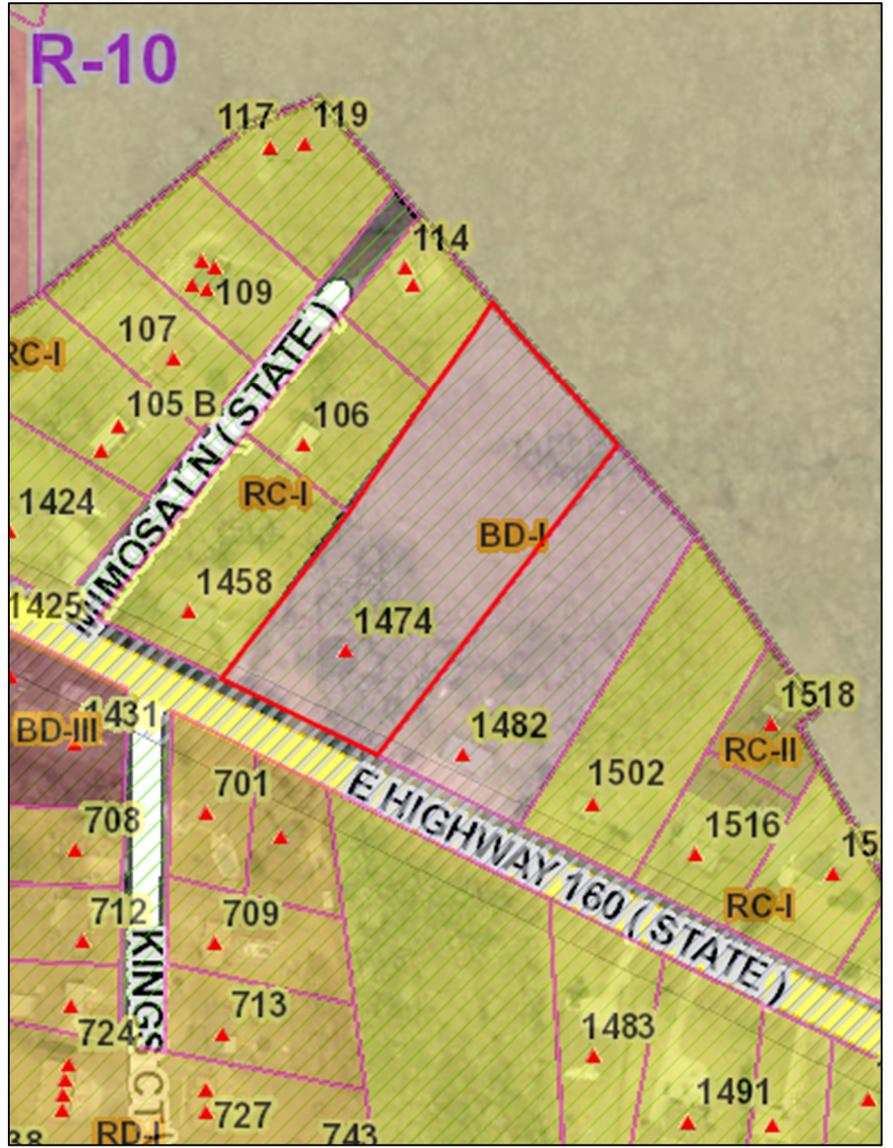
The proposed revisions to the 18,979 square foot commercial building are included below alongside the currently approved designs (8/16/16). Photos of other buildings in proximity are attached for reference. Large copies of the development plans will be available during the Planning Commission meeting.

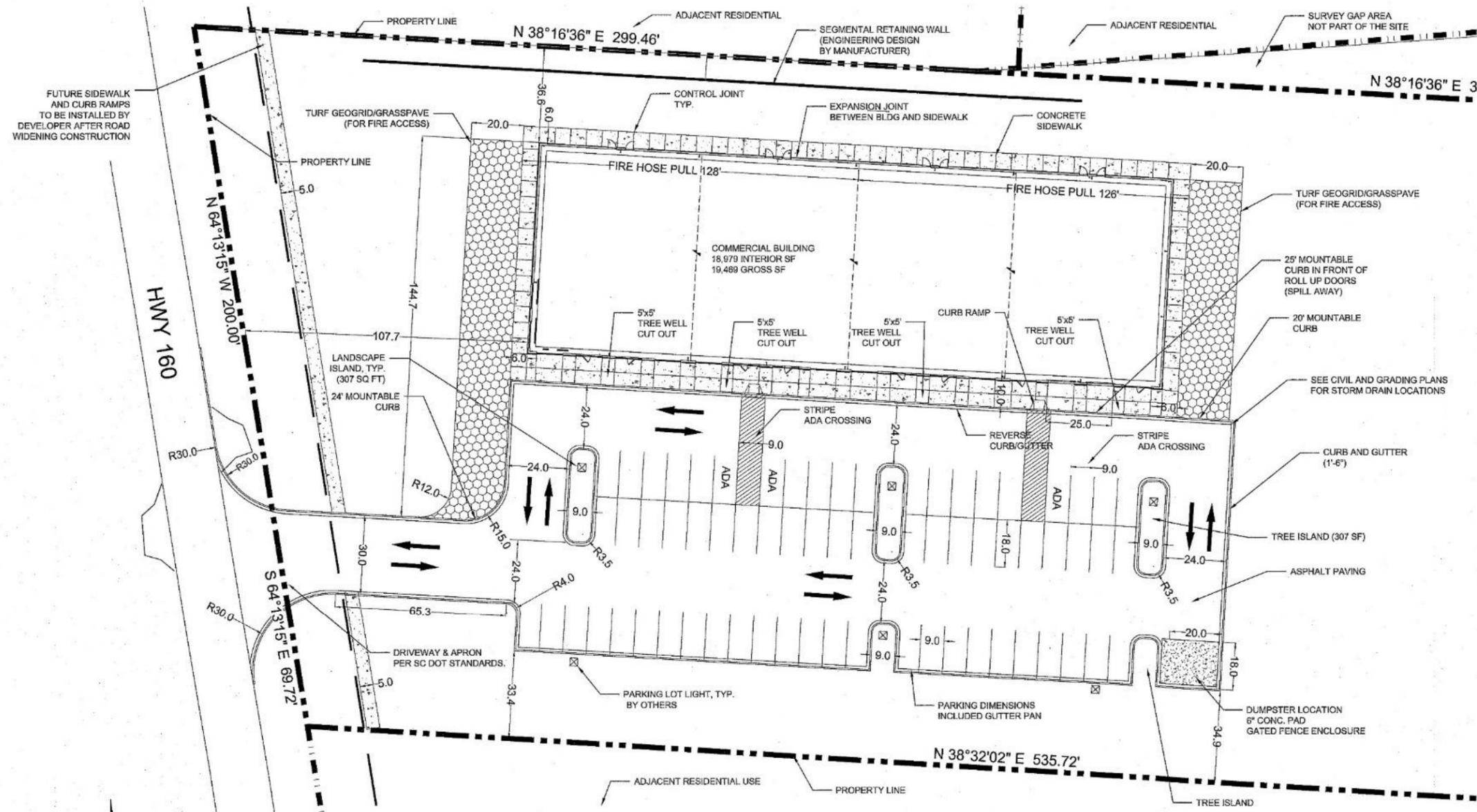
Recommendation

As noted previously, staff has approved a site plan for the project, which met all applicable zoning regulations and conditions from the Planning Commission's August 16th approval, including the addition of a sidewalk along the HWY 160 frontage, plantings to break up the long front façade, and plantings to provide a barrier between the driveway and the steep embankment at the edge of the parking lot.

Given that the Planning Commission has previously approved a design for the project, approval of revisions will be at the discretion of the Planning Commission. Staff will note that the applicant has provided metal awnings and removed the metal siding that previously existing on the rear facades of the building, both of which were conditions that were included with the August 16th appearance review approval. In addition, staff will note that roll-up garage doors were added to the front elevation, which has been a point of discussion on previous projects throughout the town.

Chris Pettit, AICP
Assistant Planner
October 14, 2016





Client:
ONE SIXTY EAST, LLC

The Dodd Studio, LLC
Landscape Architecture

314 Tom Hall St.
Fort Mill, SC 29715
(T) 803.981.4330
www.thedoddstudio.com

1474 HWY 160
COMMERCIAL
SITE



- SITE NOTES**
- All ADA parking spaces must meet the Town of Fort Mill Zoning and Building Code Department requirements.
 - Curb ramps must be installed at all ADA accessible spaces. See ADA Details on Sheet D100.
 - All parking spaces will be marked with 4" white durable paint.
 - All sidewalks adjacent to parking spaces will be 4' minimum width.
 - Gutter pan to count towards parking stall dimension requirements.

- LAYOUT NOTES**
- All improvements and construction shall be in accordance with the Town of Fort Mill and state of South Carolina standards.
 - Should any discrepancies be found in the field the contractor shall contact the owner and engineer prior to proceeding.
 - All dimensions are to face of curb, building, or edge of pavement unless otherwise noted.
 - Prior to beginning construction, the contractor shall be responsible for verifying that all required permits and approvals have been obtained from all regulatory authorities.
 - The contractor is responsible for damage to any existing item and/or material inside or outside the construction limits.
 - The contractor is cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The location of all utilities must be verified in the field by the contractor prior to beginning.
 - Electrical, telephone, and cable lines and poles to be eliminated or relocated, shall be coordinated with York County, Town of Fort Mill and the utility provider.

GENERAL INFORMATION:

- PROJECT NAME: 1474 E. HWY 160 COMMERCIAL SITE
- OWNER: ONE SIXTY EAST, LLC
127 BEN CASEY DRIVE SUITE 104
FORT MILL, SC 29708
1474 E. HWY 160
FORT MILL S.C., 29715
- SITE ADDRESS: 1474 E. HWY 160
FORT MILL S.C., 29715
- TOTAL SITE AREA: 3.62 ACRES (157,687 SQ. FT.)
- ZONING: HC
- TAX MAP ID#: 7370000073
- TOTAL IMPERVIOUS: 56,500 SQ. FT.
- PROPOSED PARKING: 67 SPACES (INCL. 3 ADA)
- EXIST. IMPERVIOUS : 0%

PROPOSED IMPROVEMENTS:

- PROPOSED BUILDING (GROSS) 19,469 SQ. FT.
- PROPOSED PARKING/SIDEWALK AREA: 37,031 SQ. FT.
- TOTAL IMPERVIOUS: 56,500 SQ. FT.
- FINAL IMPERVIOUS RATIO: 36%
- OPEN SPACE RATIO: 64%

PARKING BY USE

PROPOSED BUILDING (INTERIOR) 18,979 SQ. FT.
FM CODE 3.5 SPACES PER 1,000 SF RETAIL
TOTAL SPACES REQUIRED BY CODE = 66
TOTAL SPACES PROVIDED = 67

REVISIONS

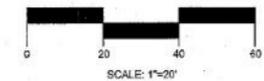
NO.	DESCRIPTION

LAYOUT PLAN

SCALE: 1" = 20'



SHEET:
L100
DATE: 9.14.2016



Client:
ONE SIXTY EAST LLC

The Dodd Studio, LLC
Landscape Architecture

314 Tom Hall St.
Fort Mill, SC 29715
(T) 803.981.4330
www.thedoddstudio.com

1474 HWY 160
COMMERCIAL
SITE



REVISIONS
8.18.2016

PLANTING
PLAN

SCALE: 1" = 30'



SHEET:

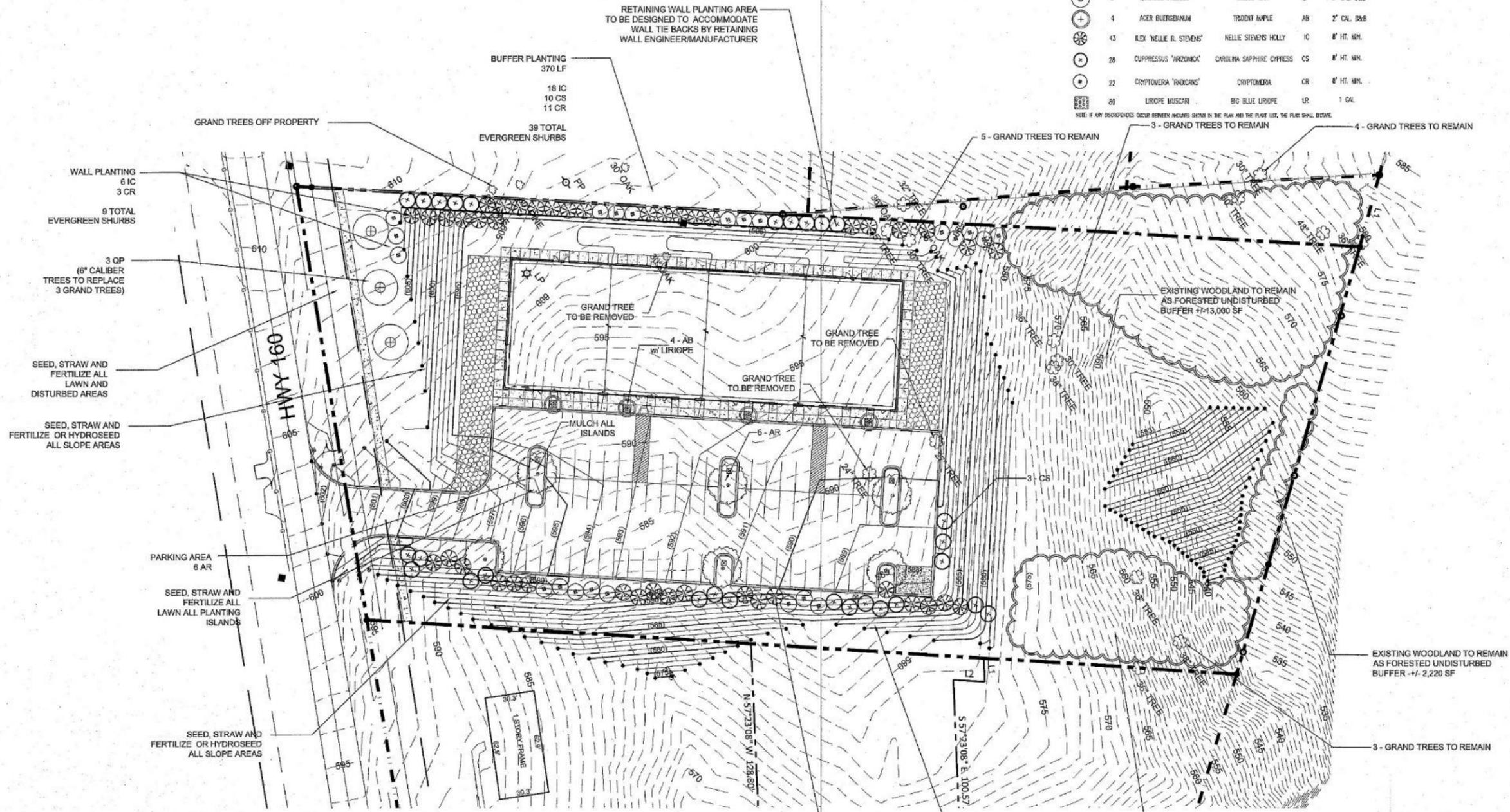
P100

DATE: 8.5.2016

PLANT SCHEDULE FOR SHEET P100:

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SYMBOL	SIZE
(Circle with dot)	6	ACER RUBRUM	RED MAPLE	AR	2" CAL. B&B
(Circle with cross)	3	QUERCUS PHELLOS	WILLOW OAK	OP	6" CAL. B&B
(Circle with plus)	4	ACER BURGUNDIUM	TROENT MAPLE	AB	2" CAL. B&B
(Circle with asterisk)	43	ILEX 'NELLIE R. STEVENS'	NELLIE STEVENS HOLLY	IC	8" HT. MIN.
(Circle with X)	28	CUPRESSUS 'ARIZONICA'	CAROLINA SAPPHIRE CYPRESS	CS	8" HT. MIN.
(Circle with dot and cross)	22	CRYPTOMERA 'INDICANS'	CRYPTOMERA	CR	8" HT. MIN.
(Circle with vertical lines)	80	LIRIOPE MUSCARI	BIG BLUE LIRIOPE	LR	1 CAL.

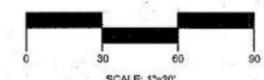
NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN INDICIES SHOWN IN THE PLAN AND THE PLANT LIST, THE PLANT SHALL PREVAIL.



PLANTING NOTES:

- ALL LANDSCAPED AREAS ARE TO RECEIVE A MINIMUM OF 3" OF TOPSOIL.
- ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, AND FREE OF PESTS AND DISEASE.
- ALL PLANT MATERIAL SHALL BE CONTAINER GROWN OR BALLED AND BUR LAPPED AS INDICATED IN THE PLANT LIST.
- ALL TREES SHALL HAVE A STRAIGHT TRUNK AND FULL HEAD AND MEET ALL REQUIREMENTS SPECIFIED.
- ALL MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION.
- ALL TREES MUST BE CAGED OR SEALED AS SHOWN IN THE DETAILS.
- ALL PLANTING AREAS SHALL BE COMPLETELY MULCHED AS SHOWN.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. LOCATIONS OF EXISTING UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR (1) TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA (2) TO PROTECT ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD (3) TO REPAIR ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION BETWEEN DELIVERY AND PLANTING PER SPECIFICATIONS TO MAINTAIN HEALTHY PLANT CONDITIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FULLY MAINTAINING (INCLUDING BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) ALL OF THE PLANT MATERIALS AND LAWN FOR THE PERIOD OF TIME SHOWN IN THE OS900 SPEC.
- ANY PLANT MATERIAL WHICH IS DISEASED, DISTRESSED, DEAD, OR REJECTED (PRIOR TO SUBSTANTIAL COMPLETION) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS.
- THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR. CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS DURING THE NORMAL PLANTING SEASON.
- AFTER BEING DUG AT THE NURSERY SOURCE, ALL TREES IN LEAF SHALL BE ACCUMULATED FOR TWO (2) WEEKS UNDER A MIST SYSTEM PRIOR TO INSTALLATION.
- STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
- WHERE SHOWN ON THE PLANS AND DETAILS, PLANTING BEDS ARE TO BE COMPLETELY COVERED WITH A HARDWOOD MULCH FROM A LOCAL SOURCE HARVESTED IN A SUSTAINABLE MANNER TO A MINIMUM DEPTH OF THREE INCHES.
- ALL PLANT MATERIAL QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN.

LEGEND:
 - - - - - PROPOSED CONTOUR
 _____ EXISTING CONTOUR



Approved with Conditions (8/16/16)



YORK COUNTY FLEXIBLE SPACE
York County, South Carolina



2016 AUGUST 03

EXTERIOR RENDERING - FROM ENTRANCE 

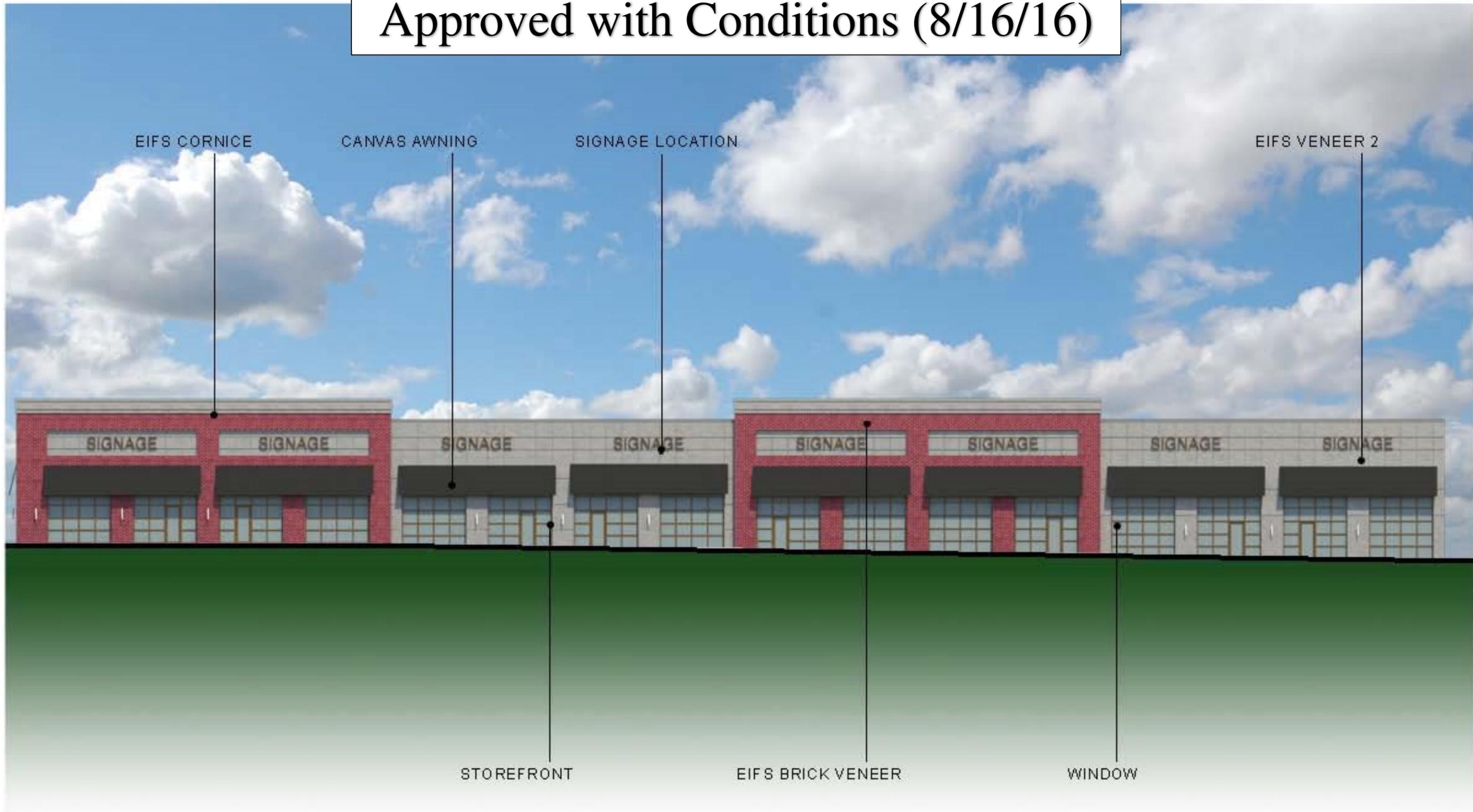
REVISED SUBMISSION (10/18/16)



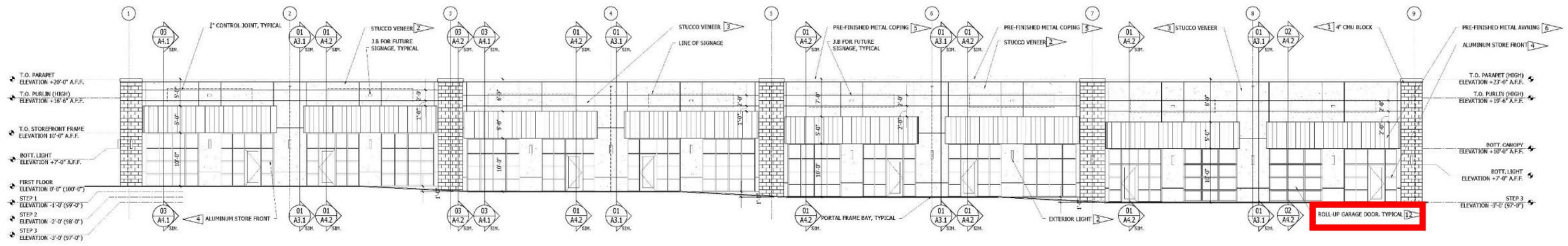
YORK COUNTY FLEXIBLE SPACE
York County, South Carolina

2016 October 10

Approved with Conditions (8/16/16)

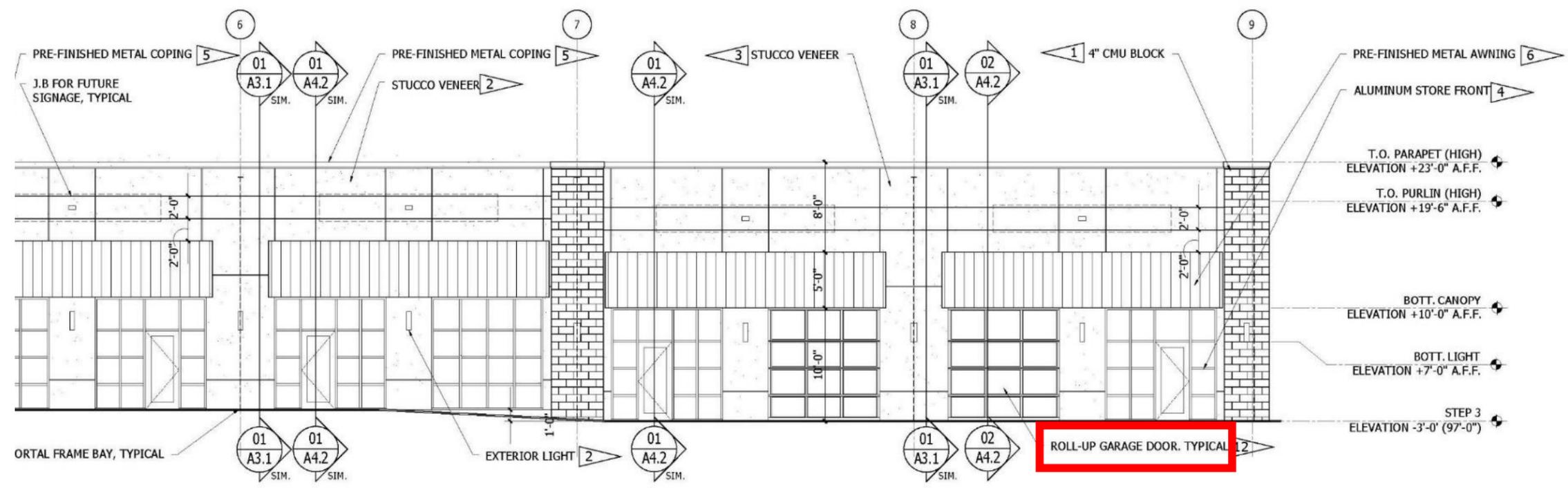


REVISED SUBMISSION (10/18/16)



01 FRONT SIDE WALL ELEVATION (FSW)

scale: 1/8" = 1'-0"



scale: 1/8" = 1'-0"

Approved with Conditions (8/16/16)



YORK COUNTY FLEXIBLE SPACE

York County, South Carolina

2016 AUGUST 03

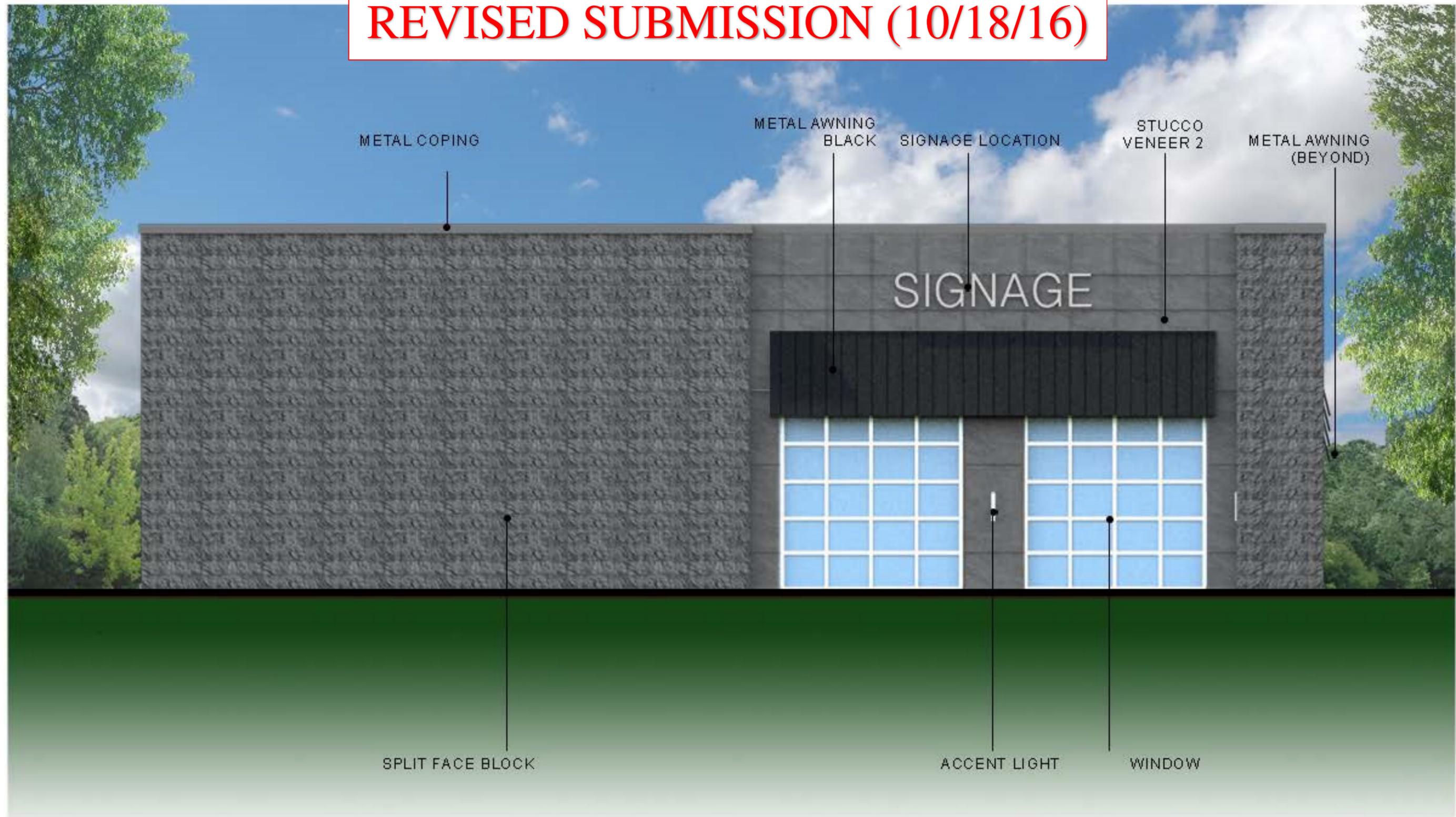
Kuester
COMMERCIAL



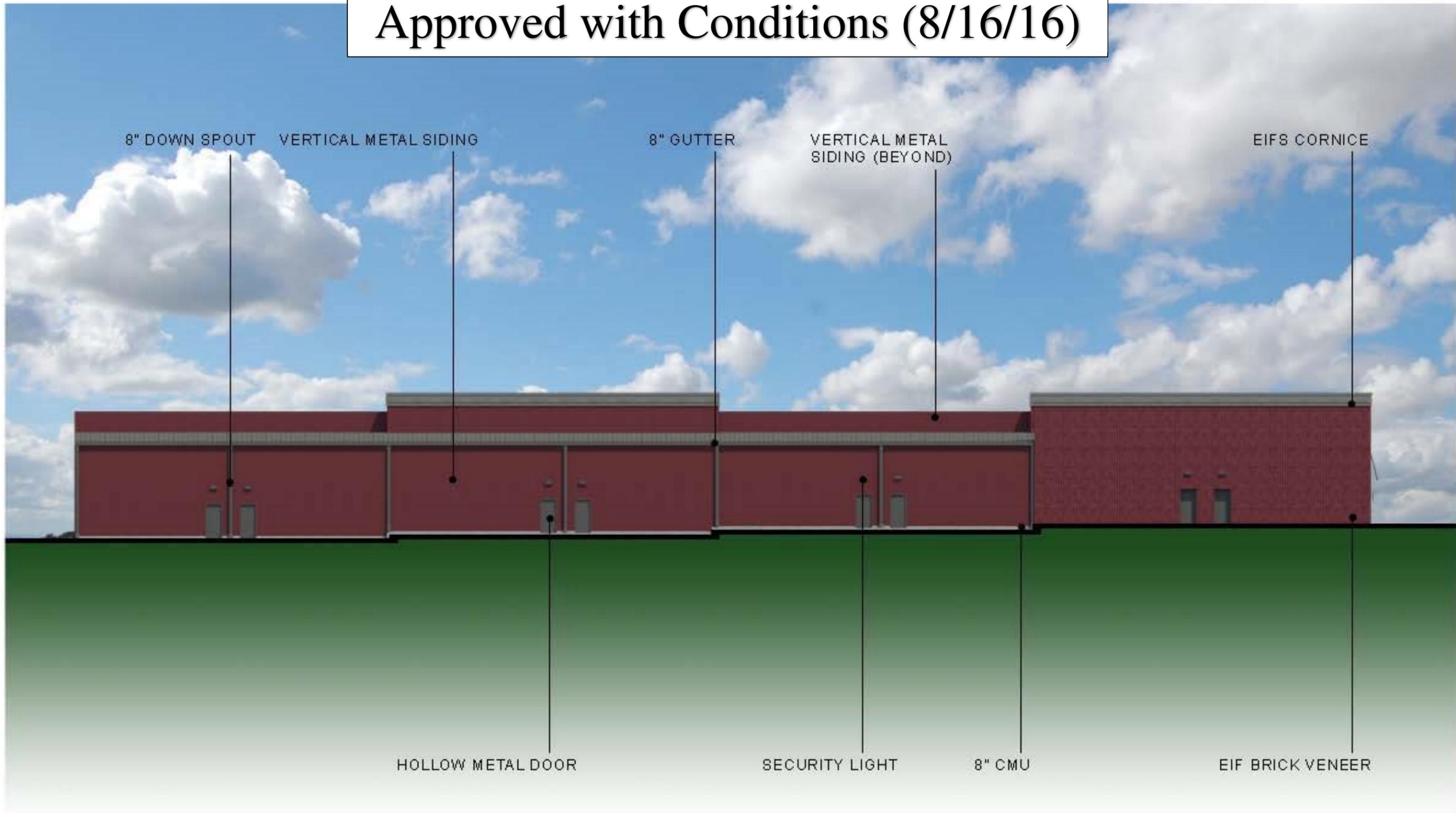
ELEVATION | LEFT SIDE - NTS

ODA

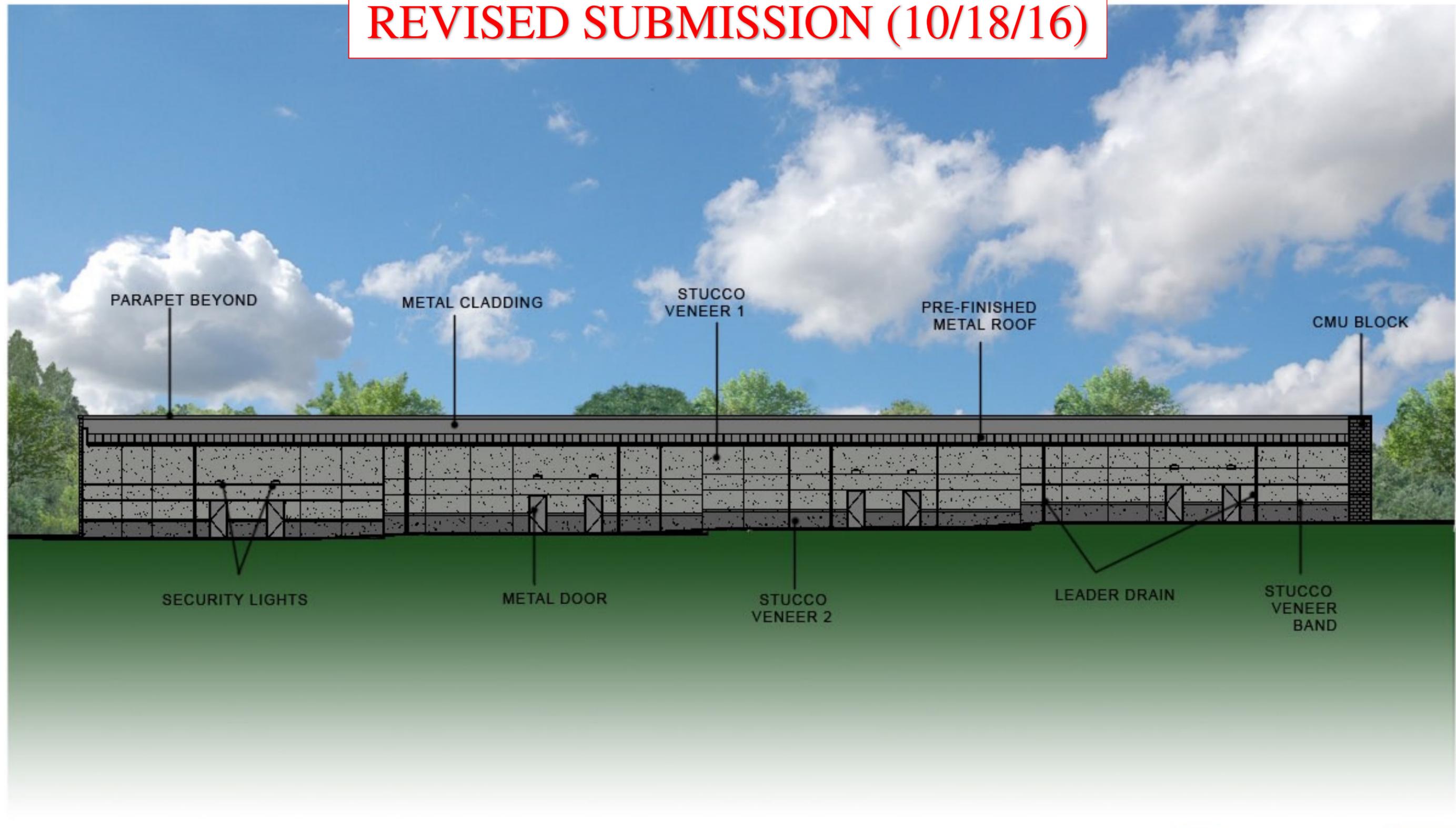
REVISED SUBMISSION (10/18/16)



Approved with Conditions (8/16/16)



REVISED SUBMISSION (10/18/16)



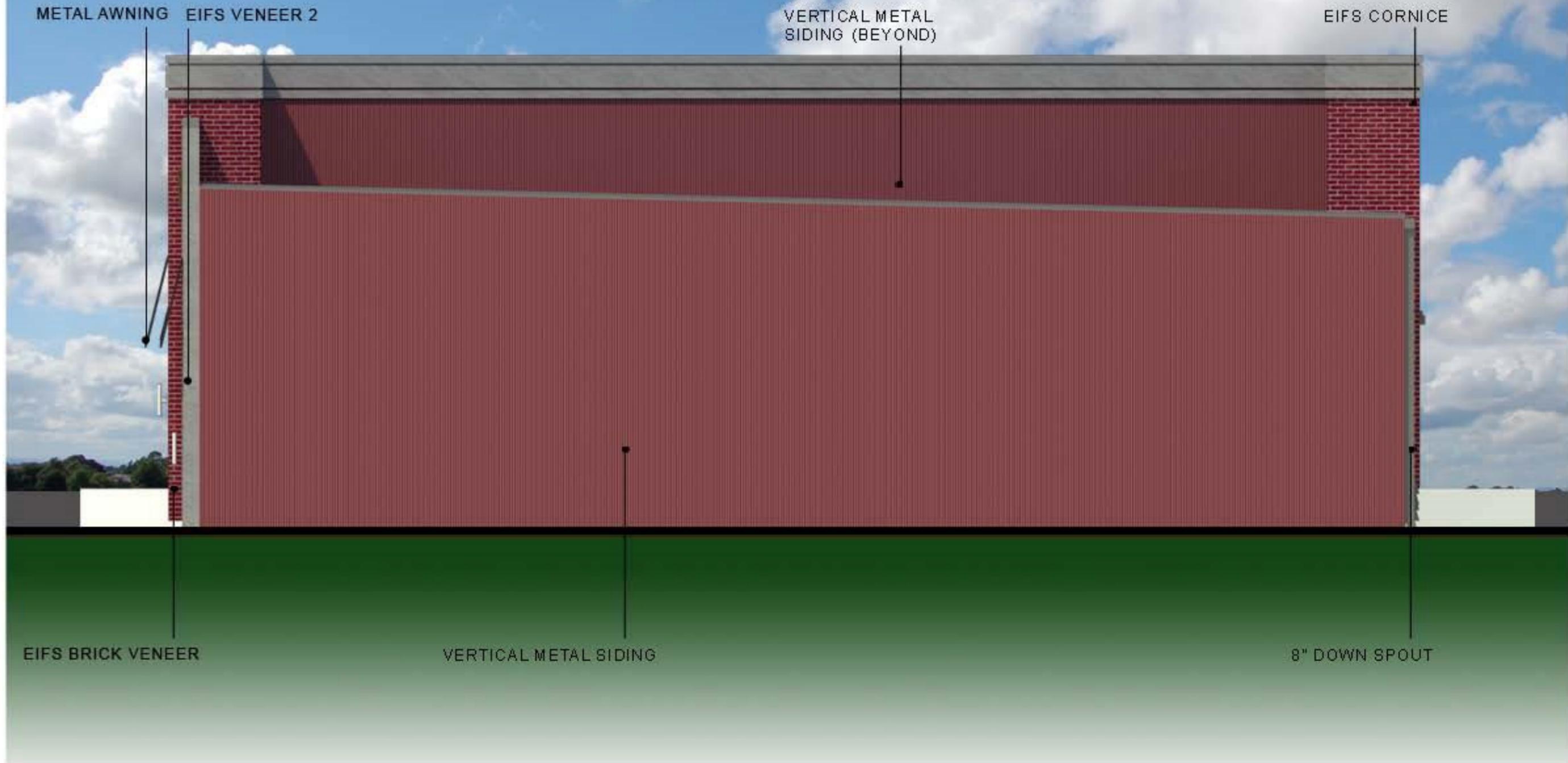
YORK COUNTY FLEXIBLE SPACE
York County, South Carolina



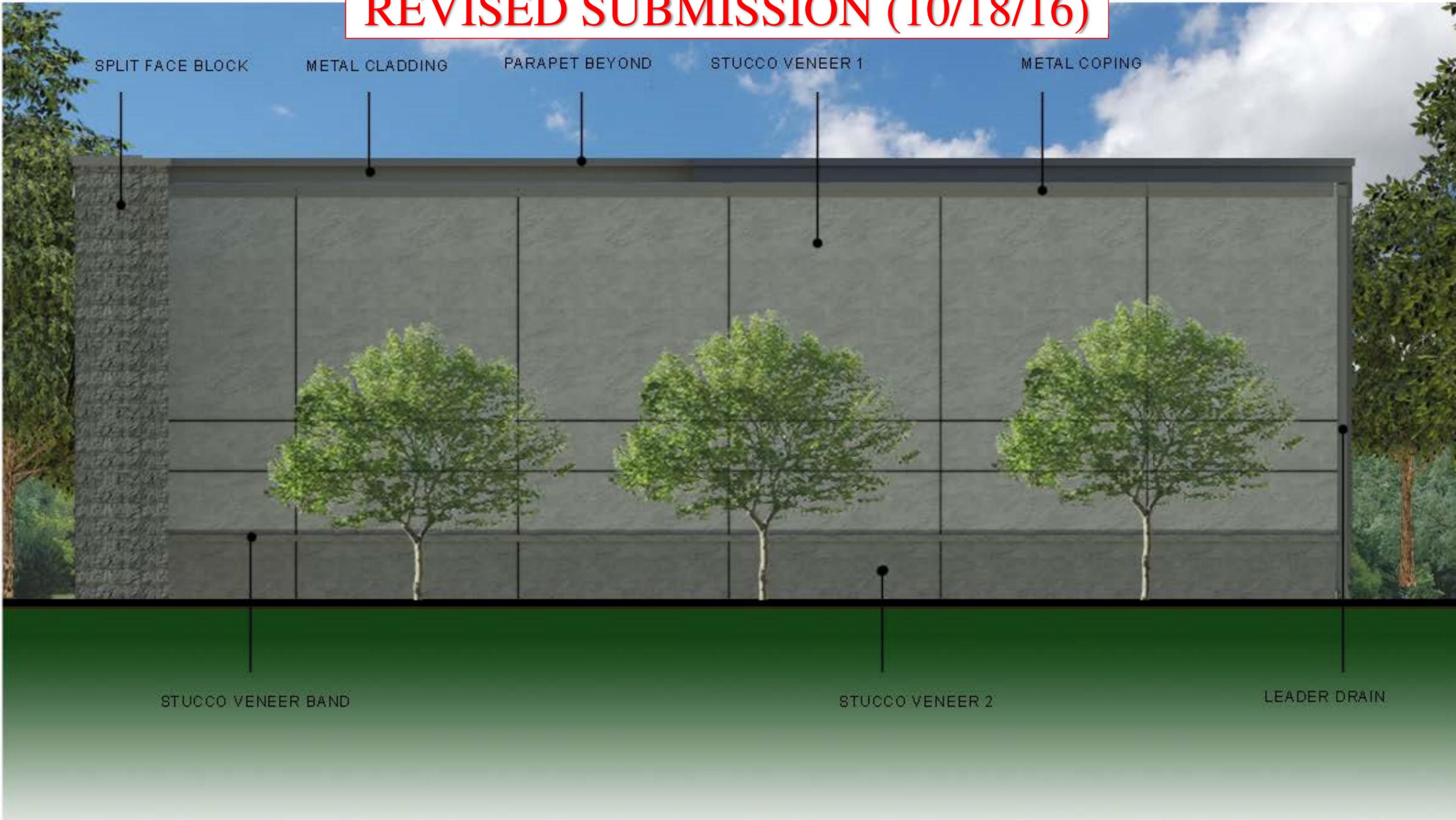
2016 October 11

EXTERIOR ELEVATION - REAR NTS ODA

Approved with Conditions (8/16/16)



REVISED SUBMISSION (10/18/16)



YORK COUNTY FLEXIBLE SPACE

York County, South Carolina

2016 October 11



ELEVATION | RIGHT SIDE - NTS



Approved with Conditions (8/16/16)



YORK COUNTY FLEXIBLE SPACE

York County, South Carolina

2016 AUGUST 03

 **Kuester**
COMMERCIAL



EXTERIOR RENDERING - FROM STREET

ODA

REVISED SUBMISSION (10/18/16)



YORK COUNTY FLEXIBLE SPACE

York County, South Carolina

2016 October 10

Kuester
COMMERCIAL



EXTERIOR RENDERING - FROM STREET ODa



Fort Mill Town Council



Meeting Information

Meeting Type	Planning Commission
Meeting Date	October 18, 2016

Request Summary

Request Type		Action (Old Bus.)	X	Action (New Bus.)		Info/Discussion
		Public Hearing		Executive Session		Other

Case Summary

Case Type		Annexation		Rezoning		Text Amendment
	X	Subdivision Plat		Appearance Review		Other

Property Information

Applicant	R. Joe Harris & Associated, on behalf of LGI Homes-SC, LLC
Property Owner	LGI Homes-SC, LLC
Property Location	Pecan Ridge Phase 2, Map 1 (Whites Road)
Tax Map Number	020-13-01-067 (Portion)
Acreage	38.428 +/- acres
Current Zoning	R-5 Residential
Proposed Zoning	N/A
Existing Use	Pending Residential Subdivision - 58 Lots (Total Permitted - 192)

Title

Request from R. Joe Harris & Associates, submitted on behalf of LGI Homes-SC, LLC, to review and approve a final plat (bonded) for Pecan Ridge Phase 2, Map 1

Background Information

Site Characteristics

Phase 2, Map 1, of the Pecan Ridge subdivision will include 58 single-family lots on 38.428 +/- acres on the eastern side of Whites Road, between the Waterside at the Catawba subdivision, and the Duke 500-foot power line easement. The approved preliminary plat for the entire project allows 192 lots on 74.53 +/- acres (2.58 units per acre). All wetlands buffers and utility easements are shown on the final plat (see attached).

Neighboring Uses

Direction	Zoning	Existing Use
North	RUD	Vacant (County)
	RUD	Vacant / Future School Site (County)
South	MXU	Waterside at the Catawba Subdivision
East	RC-I	Vacant (County)
West	RUD	Single-Family Residence (County)

Zoning Summary

The property is currently zoned R-5 Residential. The R-5 district contains the following requirements:

- Min. Lot Area: 5,000 square feet
- Min. Lot Width: 50 feet
- Front Setback: 10 feet
- Side Setback: 5 feet (10 feet for corner lots)
- Rear Setback: 15 feet
- Max. Height: 35 feet
- Min. Open Space: 20%
- Buffer Requirement: 35-foot perimeter buffer
- Sidewalk Requirement: Both sides of all streets

Project History

The property was rezoned from PND Planned Neighborhood Development to R-5 Residential on January 27, 2014. (Ord. No. 2014-03)

A development agreement was also approved for the property on January 27, 2014. (Ord. No. 2014-04). This development agreement limits the total density of the project to no more than 200 single-family units.

A sketch plan for the Pecan Ridge subdivision was approved by the Planning Commission on January 28, 2014. The sketch plan included a total of 199 single-family lots.

A preliminary plat for the Pecan Ridge subdivision was approved by the Planning Commission, with conditions, on June 23, 2015. The preliminary plat reduced the total lot count from 199 single-family lots to 192.

Plat Details

The final plat for Pecan Ridge Phase 2, Map 1, contains a total of 58 lots on 38.428 +/- acres. These lots will be located on the eastern side of Whites Road, between the Waterside at the Catawba subdivision and the Duke 500' power line easement. A 0.354-acre amenity site is also included.

The final plat will include three new road names:

- Pecan Ridge Road
- Shoshoni Court

- Mahan Way

These road names are currently under review by the York County E-911/Addressing Office. Additional information regarding road names will be provided during the Planning Commission meeting on October 18th.

Large copies of the final plat will also be available for review during the meeting.

Discussion

The final plat submitted by the applicant is consistent with the zoning ordinance, as well as the development agreement for the property. With the exception of one lot which has been removed (lot 118), the final plat for Pecan Ridge Phase 2, Map 1, is consistent with the preliminary plat approved by the Planning Commission in June 2015.

Because the applicant has not completed all required infrastructure, approval shall be contingent upon the applicant providing a bond or letter of credit equal to 125% of the cost of any unfinished infrastructure.

Alternatives	
1.	Approve the final plat as submitted, contingent upon the applicant providing a bond or letter of credit equal to 125% of the cost of any unfinished infrastructure.
2.	Approve the final plat with modifications, contingent upon the applicant providing a bond or letter of credit equal to 125% of the cost of any unfinished infrastructure.
2.	Do not approve the final plat.

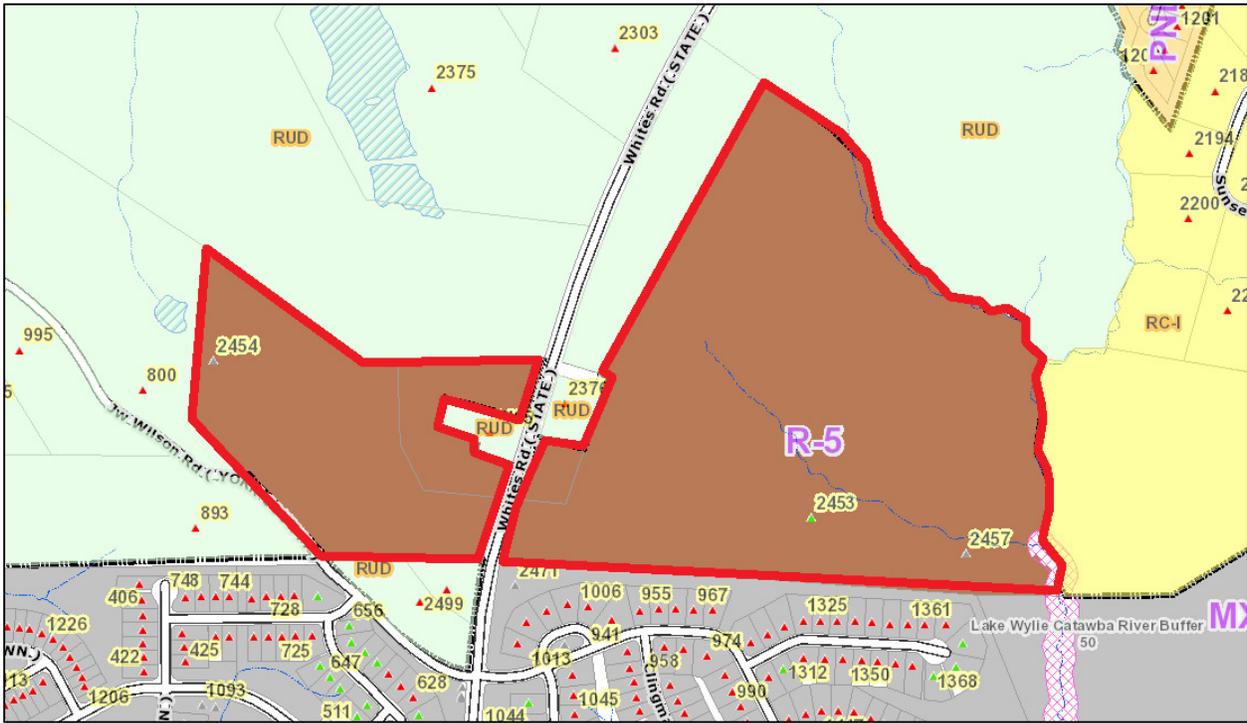
Staff Recommendation	
Recommendation	Staff recommends in favor of APPROVAL of the final plat for Pecan Ridge Phase 2, Map 1, as submitted, contingent upon the applicant providing a bond or letter of credit equal to 125% of the cost of any unfinished infrastructure.
Name & Title	Joe Cronin, Planning Director
Department	Planning Department
Date of Request	October 14, 2016

Legislative History	
Planning Commission	Scheduled – 10/18/2016
Effective Date	Upon approval, contingent upon receipt of the required bonds.

Attachments

- Zoning Map
- Aerial Image
- Pecan Ridge Preliminary Plat (Approved)
- Pecan Ridge Phase 2 Final Plat

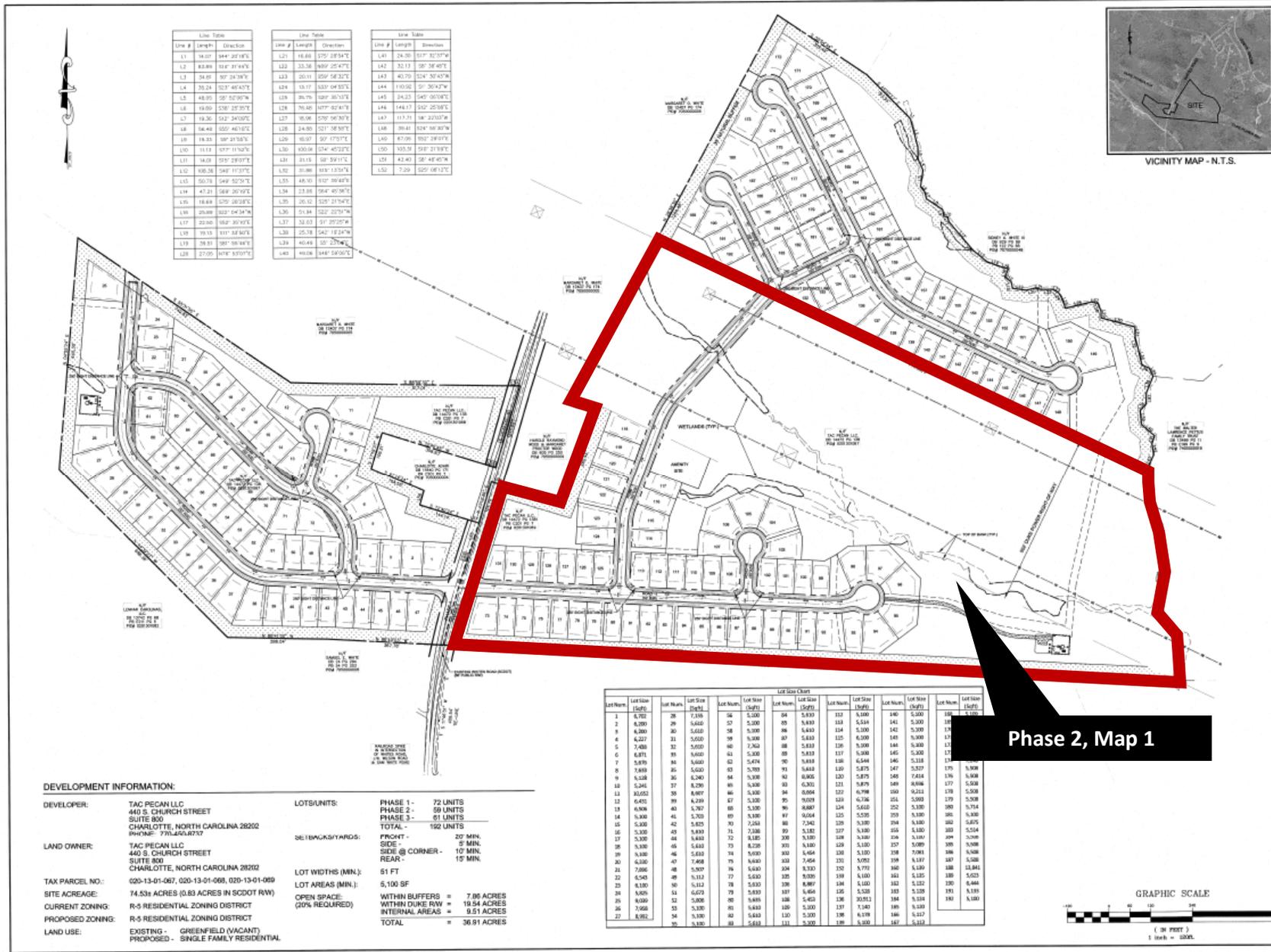
Zoning Map



Aerial Image



Pecan Ridge Preliminary Plat (Approved)



Phase 2, Map 1

DEVELOPMENT INFORMATION:

DEVELOPER: TAC PECAN LLC
440 S. CHURCH STREET
SUITE 800
CHARLOTTE, NORTH CAROLINA 28202
PHONE: 770.451.6737

LAND OWNER: TAC PECAN LLC
440 S. CHURCH STREET
SUITE 800
CHARLOTTE, NORTH CAROLINA 28202

TAX PARCEL NO.: 020-13-01-067, 020-13-01-068, 020-13-01-069

SITE ACREAGE: 74.53+ ACRES (0.83 ACRES IN SCDDT RW)

CURRENT ZONING: R-5 RESIDENTIAL ZONING DISTRICT

PROPOSED ZONING: R-5 RESIDENTIAL ZONING DISTRICT

LAND USE: EXISTING - GREENFIELD (VACANT)
PROPOSED - SINGLE FAMILY RESIDENTIAL

LOTS/UNITS: PHASE 1 - 72 UNITS
PHASE 2 - 59 UNITS
PHASE 3 - 61 UNITS
TOTAL - 192 UNITS

SETBACKS/YARDS: FRONT - 20' MIN.
SIDE - 5' MIN.
SIDE @ CORNER - 10' MIN.
REAR - 15' MIN.

LOT WIDTHS (MIN.): 51 FT

LOT AREAS (MIN.): 5,100 SF

OPEN SPACE: WITHIN BUFFERS = 7.86 ACRES
WITHIN DUKE RW = 19.54 ACRES
INTERNAL AREAS = 9.51 ACRES

TOTAL = 36.91 ACRES

DATE	ISSUED FOR	REV
04/27/2015	Initial Submission to Town of Fort Mill	

PUPS Know what's below. Call before you dig.

RJH
R. Joe Harris & Associates, P.L.L.C.
Engineering • Land Surveying • Planning Management
www.rjoharris.com

This drawing shall not be used for construction purposes until the seal and signature of the responsible registered engineer on the drawing, and proper permit forms and related fees are submitted to the County. Owner's Engineer/Contractor is the Authority Having Jurisdiction.

Project Manager: P. Murphy
Supervisor/Manager: R. Pridemore
Project/Job Date: April 27, 2015

TAC Pecan LLC
440 S. Church Street, Suite 800
Charlotte, NC 28202
P: (770) 450-8737

Project: Pecan Ridge Subdivision

Drawing Title: Site Plan Overall Site

Project No.: 2125
Drawing No.: 2125_Site Plan

SP-1

Fort Mill Town Council



Meeting Information

Meeting Type	Planning Commission
Meeting Date	October 18, 2016

Request Summary

Request Type	Action (Old Bus.)	X	Action (New Bus.)	Info/Discussion
	Public Hearing		Executive Session	Other

Case Summary

Case Type	X	Annexation	Rezoning	Text Amendment
		Subdivision Plat	Appearance Review	Other

Property Information

Applicant	Sweetgrass Enterprises LLC (Jon A. Blankenship)
Property Owner	Sweetgrass Enterprises LLC (Jon A. Blankenship)
Property Location	952 Tom Hall Street
Tax Map Number	736-00-00-019
Acreage	0.28 +/- acres
Current Zoning	RD-I (County)
Proposed Zoning	HC Highway Commercial
Existing Use	Vacant

Title

An ordinance annexing York County Tax Map Number 736-00-00-019, containing approximately 0.28 +/- acres located at 952 Tom Hall Street

Background Information

Site Characteristics

The property is situated off of Tom Hall Street, east of the intersection of Kimbrell Road, and across from the Leroy Springs Recreation Complex. The property is separated from Tom Hall Street by a narrow strip of land owned by Leroy Springs & Co, and therefore, does not contain any frontage on Tom Hall Street. The property to the south is currently under contract for

sale to the Charlotte-Mecklenburg Hospital Authority. CMHA plans to redevelop the neighboring property for a future medical office building.

At its widest, the property is approximately 70 feet wide, by approximately 210 feet deep. The parcel contains approximately 0.28 +/- acres, or approximately 12,000 +/- square feet.

Neighboring Uses

Direction	Zoning	Existing Use
North	RD-I HC	Leroy Springs & Co. Vacant Strip (County) Leroy Springs Recreation Complex
South	RD-I / HC	York County Convenience Center (Current) CMC Medical Building (Future)
East	RC-I	Vacant (County)
West	RC-I	Single-Family Residence (County)

Zoning Summary

The subject parcel is currently zoned RD-I per York County GIS. The county’s RD-I district allows single-family residences (min. 8,000 sf to one acre per dwelling unit), townhomes (min. 2,000 sf per unit), apartments and condominiums. The district also allows child/adult care centers, religious uses, modular homes, parks, nursing facilities, parks and schools. The RD-I District requires a minimum open space of 20%.

The applicant has requested a zoning designation of HC Highway Commercial upon annexation into the Town of Fort Mill. The HC District allows a variety of commercial and office uses. The minimum lot size for all new development within the HC district is 10,000 square feet, with setbacks of 35’ in the front and rear, and 10’ on both sides.

The HC district is proposed to be replaced by the GC General Commercial district the new UDO. Therefore, HC may be considered an interim zoning designation until the final version of the UDO and updated zoning map are adopted later this year.

Comprehensive Plan

The subject property is located within an area that has been designated as “Commercial” on the Town of Fort Mill’s Future Land Use Map, last updated in May 2016. The property is also located within Node 6. The comprehensive plan includes the following recommendations for Node 6:

“It is expected that the intersection of Springfield Parkway and Tom Hall Street will continue to serve as a retail and commercial center. New roadway capacity will reduce traffic in the area. Improved streetscape and pedestrian connectivity is needed to create a safer and more walkable environment for patrons. In addition, this Node is the main gateway into Fort Mill from the east. Attention to the

scale and design of future development is important in creating a welcome point for individuals entering town.”



In staff’s opinion, the annexation request with HC zoning would be consistent with the recommendations of the comprehensive plan.

Traffic Impact

There is an existing curb cut on Tom Hall Street, as well as a driveway running across the Leroy Springs & Co. property, which leads to the subject property. It is unknown at this time whether there is a recorded easement that would allow future development on this property to utilize the existing driveway to access Tom Hall Street. Internal connectivity to the neighboring CHMA site may also be provided, subject to approval by CMHA.

Specific traffic impacts will not be known until the specific type and square footage of commercial development has been identified. The new UDO will require a traffic impact analysis to be completed if future development is projected to generate 100 or more peak hour trips.

Fire Impact

The property is located approximately 0.9 mile (2 minutes) ordinary driving distance from the town’s main fire station on Tom Hall Street.

The town currently provides fire service to this area of the county. Therefore, no additional fire impact is anticipated above and beyond the existing level of service.

Utility Impact

Future development on the property would be served by the town’s water and sewer system. The exact utility impact will be based on the type and intensity of future development on the property. Any upgrades necessary to serve the property would be at the expense of the property owner.

School Impact

The HC district does not permit residential development. Therefore, no school enrollment impact is anticipated.

Discussion

While the annexation request is consistent with the town’s future land use map, staff has concerns about the feasibility of commercial development on this particular parcel.

As mentioned above, the property is currently landlocked, as it does not contain frontage on Tom Hall Street. While internal access may be provided via the CMHA site, this access will be contingent upon approval by CMHA.

In addition, the property is bordered on three sides by residential zoned parcels which are currently under the county’s jurisdiction. Under the proposed UDO, commercial zoned parcels which abut residential zoned parcels must include a 20-foot buffer. Because the property is only 70 feet wide at its widest point, this would leave a developable area of no more than 30 feet wide. This concern would be eliminated if neighboring parcels would also petition for annexation with HC zoning.

Lastly, while an annexation ordinance has been approved for the neighboring CMHA property, that ordinance will not take effect until CMHA has taken title to the property. Until this transaction takes place, the CMHA annexation ordinance will have no force or effect, and the CMHA property will remain under the county’s jurisdiction. Therefore, the property will not be contiguous to the town limits until the CMHA annexation has been completed.

Alternatives	
1.	Recommend approval of the annexation ordinance with a zoning designation of HC.
2.	Recommend approval of the annexation ordinance with an alternate zoning designation
3.	Recommend denial of the annexation ordinance.

Staff Recommendation	
Recommendation	Staff recommends in favor of DENIAL of the annexation request. Should council elect to move forward with the annexation request, the annexation ordinance should have a delayed effective date, as the subject parcel will not meet the contiguity requirement for annexation until the CMHA ordinance becomes effective.
Name & Title	Joe Cronin, Planning Director
Department	Planning Department
Date of Request	October 14, 2016

Legislative History	
Planning Commission	Scheduled – 10/18/2016
First Reading	Scheduled – 11/14/2016
Public Hearing	Scheduled – 11/14/2016
Second Reading	TBD
Effective Date	TBD

Attachments

- Annexation Petition
- Zoning Map
- Aerial Image
- Draft Annexation Ordinance

Date: 9/27/16

Dennis Pieper
Town Manager
Town of Fort Mill
PO Box 159
Fort Mill, SC 29716

Re: Request for Annexation

Dear Mr. Pieper:

As the owners of the property indicated below, I/we respectfully request that the Town of Fort Mill annex the property into the Town limits. I/we also request that the property be zoned upon annexation as indicated. Thank you for your consideration.

Property Address: 952 Tom Hall St.

Tax Map Number: 7360000019

Total Acreage: .3

Zoning Designation Requested: Highway Commercial

Property Owners: Jon A. BLANKENSHIP (803) 517-0318
SWEET GRASS ENTERPRISES LLC
2575 WHITNEY RD
FORT MILL SC 29708

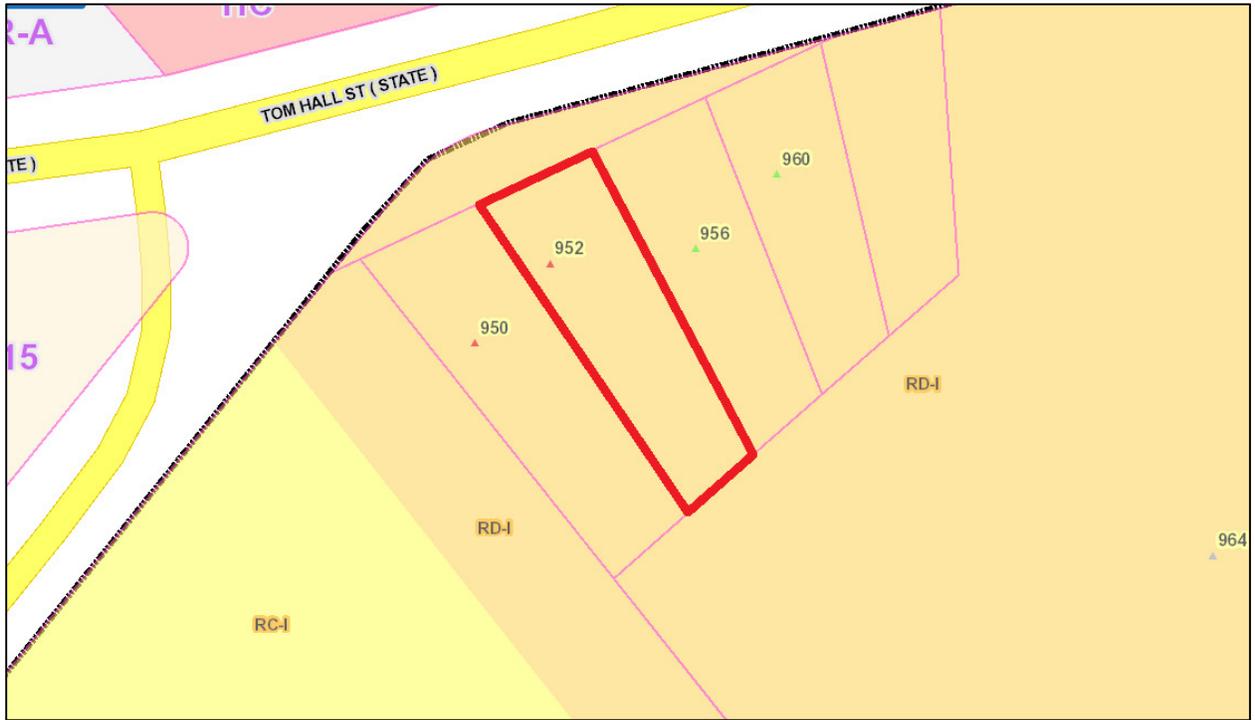
Print Name(s):

Signature(s):

JON A. BLANKENSHIP
SWEET GRASS ENTERPRISES LLC



Zoning Map



Aerial Image



STATE OF SOUTH CAROLINA
TOWN COUNCIL FOR THE TOWN OF FORT MILL
ORDINANCE NO. 2016-___

AN ORDINANCE ANNEXING YORK COUNTY TAX MAP NUMBER 736-00-00-019, CONTAINING APPROXIMATELY 0.28 +/- ACRES LOCATED AT 952 TOM HALL STREET

WHEREAS, a proper petition was submitted to the Fort Mill Town Council on September 27, 2016, by Jon A. Blankenship of Sweetgrass Enterprises LLC (the "Property Owner"), requesting that York County Tax Map Number 736-00-00-019, said parcel being owned fully by the Property Owner, be annexed to and included within the corporate limits of the Town of Fort Mill under the provisions of S.C. Code Section 5-3-150(3); and

WHEREAS, the Planning Commission of the Town of Fort Mill, in a duly called meeting on October 18, 2016, made its recommendation in favor of annexation, and that upon annexation, the aforesaid area shall be zoned under the Town's Zoning Code, as follows: HC Highway Commercial; and

WHEREAS, a public hearing was advertised and held at 7:00 pm on November 14, 2016, during a duly called regular meeting of the Town Council of the Town of Fort Mill; and

WHEREAS, Section 5-3-150(3) of the Code of Laws of the State of South Carolina, as amended, provides that any area or property which is contiguous to a municipality may be annexed to the municipality by filing with the municipal governing body a petition signed by all persons owning real estate in the area requesting annexation. Upon the agreement of the governing body to accept the petition and annex the area, and the enactment of an ordinance declaring the area annexed to the municipality, the annexation is complete; and

WHEREAS, using the definition of "contiguous" as outlined in S.C. Code Section 5-3-305, the Town Council has determined that the above referenced property is contiguous to property that was previously annexed into the corporate limits of the Town of Fort Mill; and

WHEREAS, the Town Council has determined that annexation would be in the best interest of both the property owner and the Town of Fort Mill;

NOW, THEREFORE, BE IT ORDAINED by the Town Council of the Town of Fort Mill in Council assembled:

SECTION I. Annexation. It is hereby declared by the Town Council of the Town of Fort Mill, in Council assembled, that the incorporated limits of the Town of Fort Mill shall be extended so as to include, annex and make a part of said Town, the described area of territory above referred to, being more or less 0.28 +/- acres, the same being fully described in Exhibit "A" attached hereto, and contiguous to land already within the Town of Fort Mill. Pursuant to S.C. Code Section 5-3-110, this annexation shall include the whole or any part of any street, roadway, or highway abutting the above referenced property, not exceeding the width thereof, provided such street, roadway or highway has

been accepted for and is under permanent public maintenance by the Town of Fort Mill, York County, or the South Carolina Department of Transportation.

SECTION II. Zoning Classification of Annexed Property. The above-described property, upon annexation into the corporate limits of the Town of Fort Mill, shall be zoned, as follows: HC Highway Commercial.

SECTION III. Voting District. For the purpose of municipal elections, the above-described property, upon annexation into the incorporated limits of the Town of Fort Mill, shall be assigned to and made a part of Ward Three (3).

SECTION IV. Notification. Notice of the annexation of the above-described area and the inclusion thereof within the incorporated limits of the Town of Fort Mill shall forthwith be filed with the Secretary of State of South Carolina (SCSOS), the South Carolina Department of Public Safety (SCDPS), and the South Carolina Department of Transportation (SCDOT), pursuant to S.C. Code § 5-3-90(E).

SECTION V. Severability. If any section, subsection, or clause of this ordinance shall be deemed to be unconstitutional or otherwise invalid, the validity of the remaining sections, subsections, and clauses shall not be affected thereby.

SECTION VI. Effective Date. This ordinance shall be effective from and after the date of adoption.

SIGNED AND SEALED this ____ day of _____, 2016, having been duly adopted by the Town Council for the Town of Fort Mill on the ____ day of _____, 2016.

First Reading: November 14, 2016
Public Hearing: November 14, 2016
Second Reading:

TOWN OF FORT MILL

Guynn H. Savage, Mayor

LEGAL REVIEW

ATTEST

Barron B. Mack, Jr, Town Attorney

Virginia Burgess, Town Clerk

EXHIBIT A

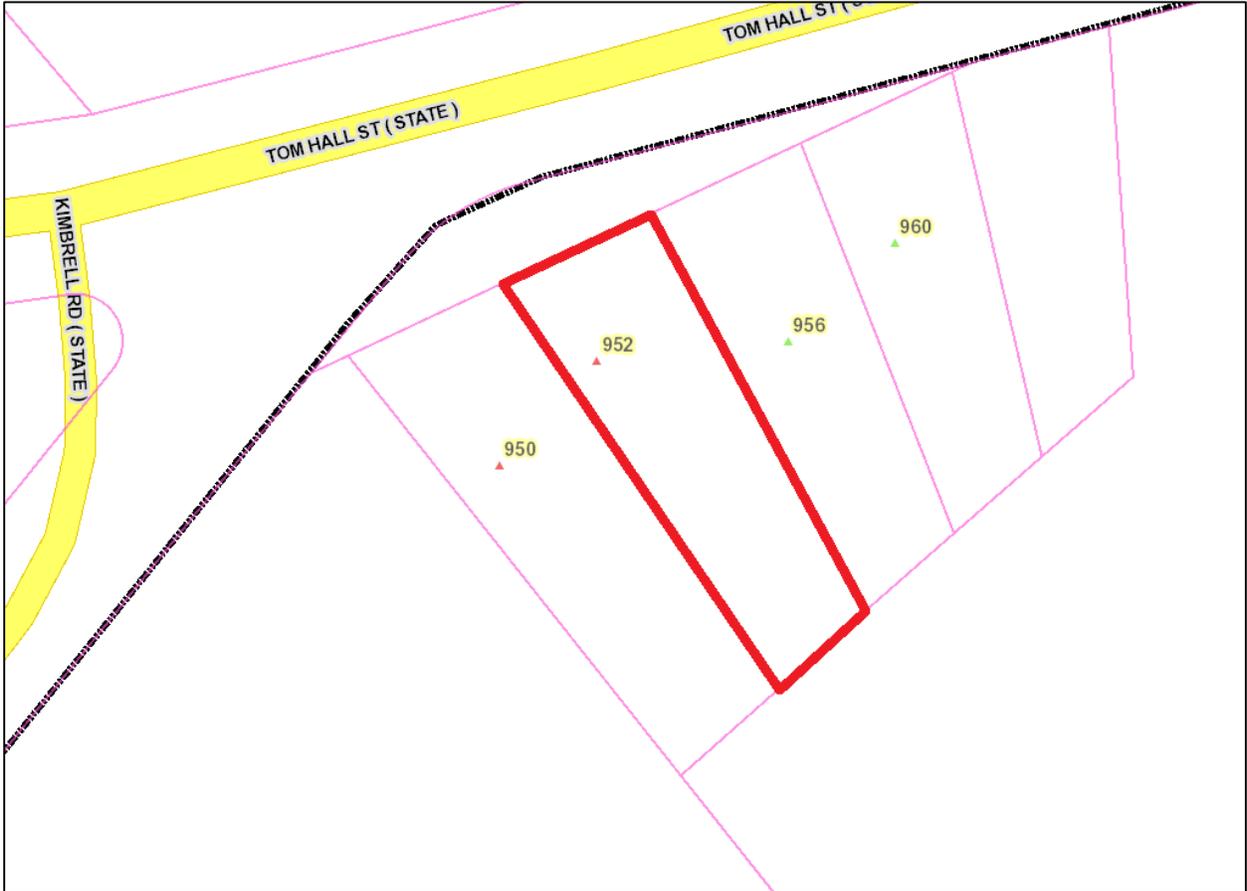
Property Description

All those certain pieces, parcels or tracts of land lying, being and situate in Fort Mill Township, County of York, State of South Carolina, containing 0.28 +/- acres, more or less, containing all the property shown in the map attached as Exhibit B, and being more particularly described as York County Tax Map Number 736-00-00-019.

Pursuant to S.C. Code Section 5-3-110, this annexation shall include the whole or any part of any street, roadway, or highway abutting the above referenced property, not exceeding the width thereof, provided such street, roadway or highway has been accepted for and is under permanent public maintenance by the Town of Fort Mill, York County, or the South Carolina Department of Transportation.

EXHIBIT B

Property Map
York County Tax Map Number 736-00-00-019



Fort Mill Town Council



Meeting Information

Meeting Type	Planning Commission
Meeting Date	October 18, 2016

Request Summary

Request Type	Action (Old Bus.)	X	Action (New Bus.)	Info/Discussion
	Public Hearing		Executive Session	Other

Case Summary

Case Type	Annexation	X	Rezoning	Text Amendment
	Subdivision Plat		Appearance Review	Other

Property Information

Applicant	N/A – Initiated by Town Staff
Property Owner	This request will apply to all property owners in the Town of Fort Mill
Property Location	This request will apply to all property locations in the Town of Fort Mill
Tax Map Number	This request will apply to all tax map numbers in the Town of Fort Mill
Acreage	N/A
Current Zoning	Various (See Current Zoning Map)
Proposed Zoning	Various (See Proposed Zoning Map)
Existing Use	Various

Title

An ordinance adopting a new zoning map for the Town of Fort Mill

Background Information

Site Characteristics The new zoning map is being proposed as a companion ordinance to the new Unified Development Ordinance (UDO), which is currently pending review and approval by Town Council. Upon adoption, the proposed zoning map will be applied to all parcels on a town-wide basis.

Zoning Summary The purpose of the new zoning map is to implement the zoning changes contained within the draft UDO. The UDO will create several new zoning

districts, including ROS Recreation & Open Space, NMU Neighborhood Mixed Use, and TOMU Transit Oriented Mixed Use. Some existing districts, including R-12, R-10, R-5, RT-4, RT-12, GR/GR-A, MHP, GI, PND, PCD, RC and THCD will either be transitioned to a new designation, or eliminated entirely. For a full list of recommended zoning district transitions, please see the attached summary.

In addition, the proposed zoning map has identified several parcels where the existing zoning is inconsistent with the comprehensive plan. Some of these areas are existing residential neighborhoods, such as the Mill Village and Paradise, where R-10 and R-15 zoning designations are out of character with existing development types and densities. (These areas are recommended to be rezoned to R-7.) In other instances, parcels have been recommended for rezoning from commercial to residential use (or vice versa) to ensure consistency with the comprehensive plan. ***The overwhelming majority of property owners will see little to no impact as a result of the town-wide rezoning.***

Comprehensive Plan

In preparing the draft zoning map, it was staff’s intent for the map to reflect (as closely as possible) the recommendations contained within the Future Land Use Map. A copy of the future land use map is included as an attachment to this staff write up.

Discussion

Should council elect to move forward with adoption of the new UDO, a new zoning map will be required to implement the zoning changes contained within the UDO. As mentioned above, while some property owners will be affected by these changes, the new zoning map was prepared with the intent of implementing the recommendations of the comprehensive plan, as well as minimizing, to the greatest extent feasible, the impact to existing property owners, as well as to active, approved and planned development projects.

Prior to adoption by town council, staff intends to hold a community open house for residents and business owners to learn more about the new map, as well as the UDO. At least two public hearings will also be scheduled.

Alternatives	
1.	Recommend approval of the new zoning map, as submitted.
2.	Recommend approval of the new zoning map, with modifications.

Staff Recommendation	
Recommendation	Staff recommends in favor of APPROVAL of the draft zoning map, as submitted.
Name & Title	Joe Cronin, Planning Director
Department	Planning Department

Date of Request	October 14, 2016
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Legislative History	
Planning Commission	Scheduled – 10/18/2016
First Reading	TBD
Public Hearing	TBD
Second Reading	TBD
Effective Date	January 1, 2017

Attachments

- Comprehensive Plan Map (Updated May 2016)
- Current Projects Map
- Zoning Map Transition Summary
- Draft Ordinance Adopting a New Zoning Map
- Proposed Zoning Map

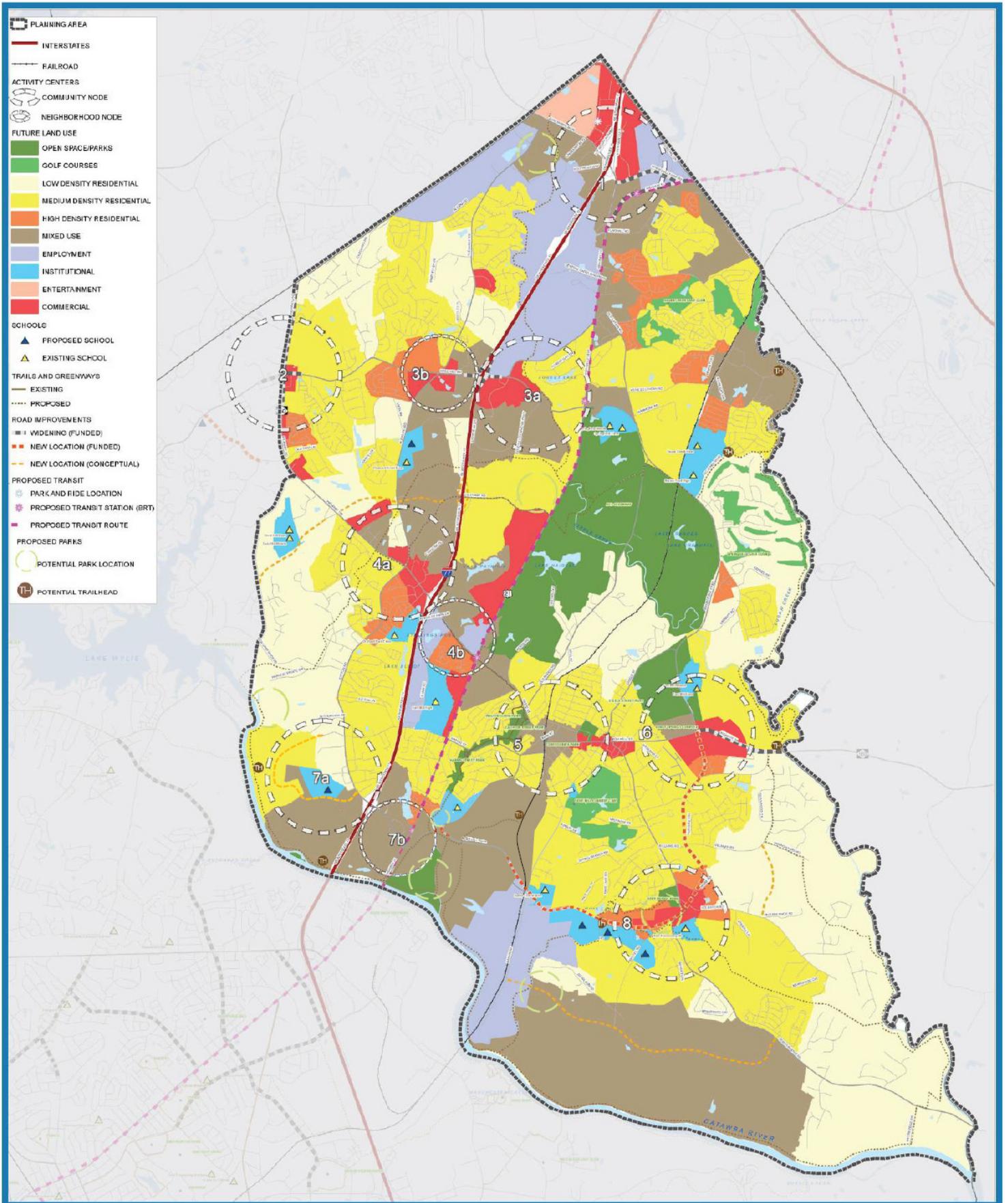
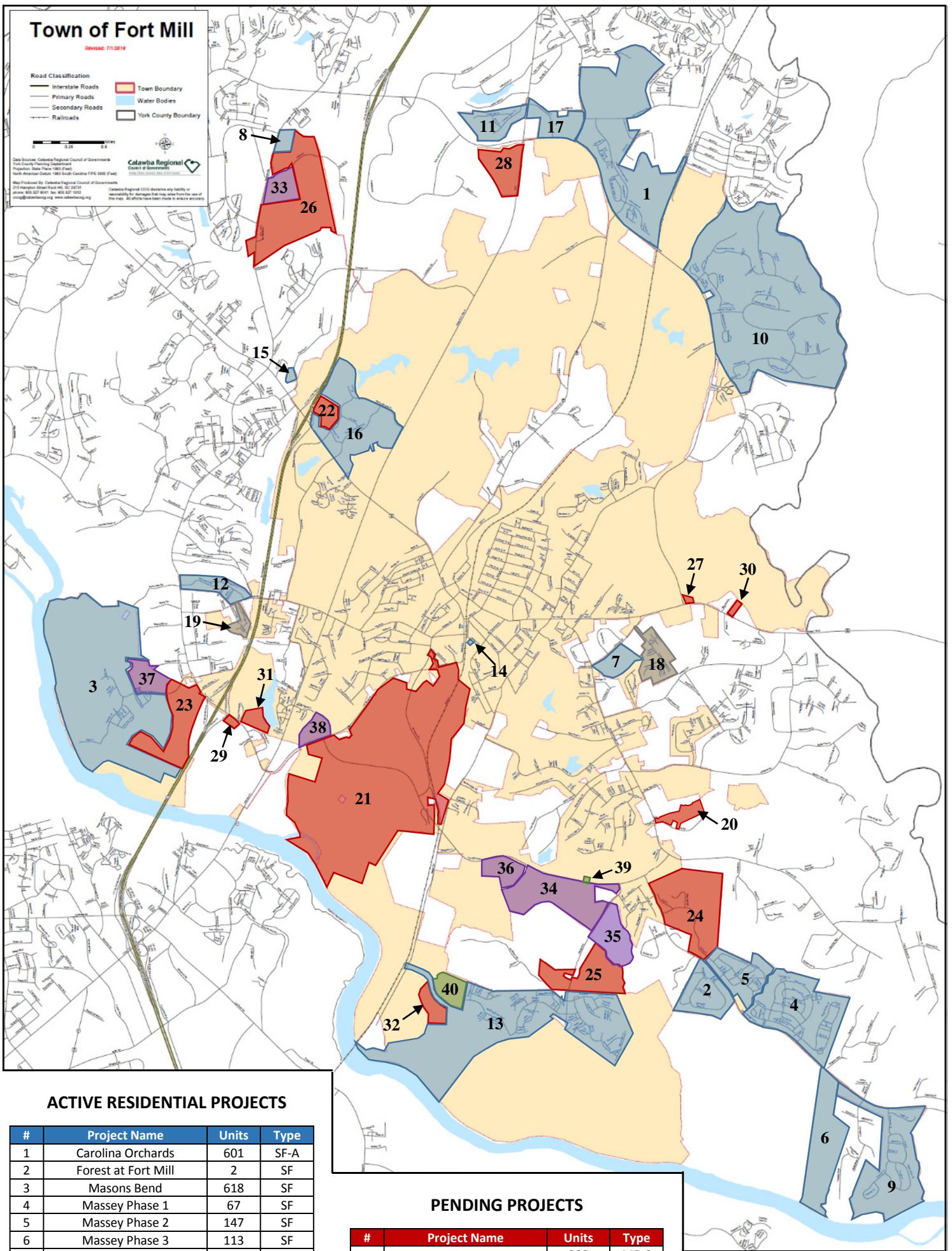


Figure 2.1 - Comprehensive Plan Map



ACTIVE RESIDENTIAL PROJECTS

#	Project Name	Units	Type
1	Carolina Orchards	601	SF-A
2	Forest at Fort Mill	2	SF
3	Masons Bend	618	SF
4	Massey Phase 1	67	SF
5	Massey Phase 2	147	SF
6	Massey Phase 3	113	SF
7	Oakland Pointe	100	SF
8	Pleasant/Vista Legacy II	98	MF
9	Preserve at River Chase	33	SF
10	Springfield	17	SF
11	Springview Meadows	20	SF
12	Sutton Mill	25	SF
13	Waterside at the Catawba	511	SF

ACTIVE COMMERCIAL PROJECTS

#	Project Name	Remaining
14	Academy Street Shell Bldg	3,496 ft ²
15	Holiday Inn Express	50,360 ft ²
16	Kingsley	686,140 ft ²
17	Springfield Town Center	197,830 ft ²

INACTIVE RESIDENTIAL PROJECTS

#	Project Name	Units	Type
18	Kimbrell Crossing	27	SF
19	Well Ridge	19	SF

PENDING PROJECTS

#	Project Name	Units	Type
20	Haire Village	200	MF-C
		Up to 36,000 ft ²	
21	Kanawha Farms	1,575	SF
		1,075	MF
		Up to 1.5M ft ²	
22	Kingsley Village	238	MF
23	Masons Bend	342	MF
		Up to 600,000 ft ²	
24	Massey Phase 4	305	SF
25	Pecan Ridge	192	SF
		123	SF
26	Pleasant/Vista MXU	146	TH
		564	MF
		Up to 50,000 ft ²	
27	QuikTrip	5,838 ft ²	
28	Rutledge MXU	235	TH
		Up to 175,000 ft ²	
29	Comfort Inn & Suites	41,681 ft ²	
30	SC 160 Comm. Building	18,979 ft ²	
31	Traditions at Fort Mill	252	MF-A
		5,000 ft ²	
32	Waterside at the Catawba	118	TH

PENDING SCHOOL PROJECTS

#	Project Name
33	Pleasant Knoll Middle School
34	Future High School
35	Future School (TBD)
36	Future School (TBD)
37	Future School (TBD)
38	Future Athletic Fields

PENDING TOWN PROJECTS

#	Project Name
39	Fire Station #2
40	Waterside Park

Town of Fort Mill - Zoning Map

Revised: 10/10/2016

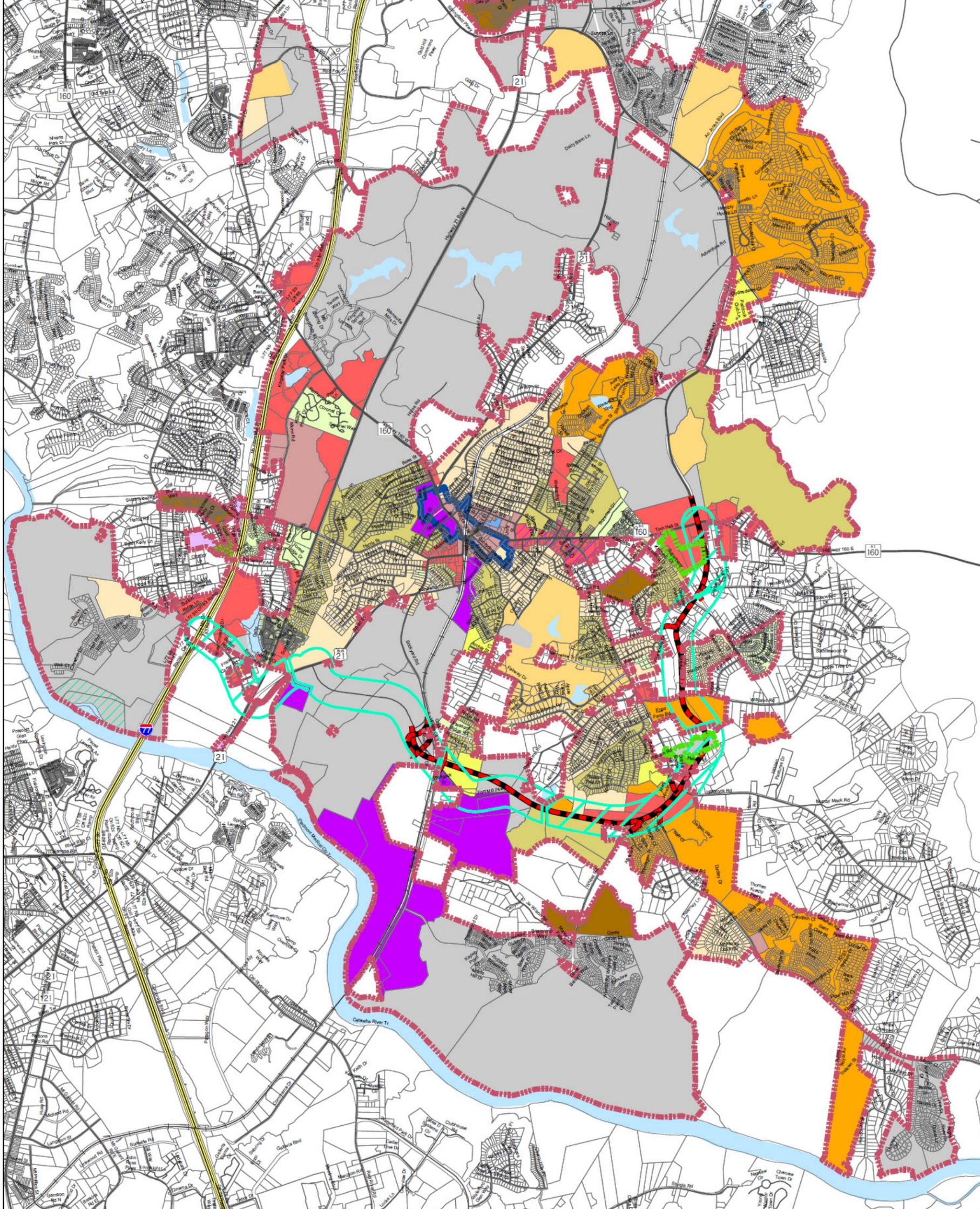
Zoning

- LI: Light Industrial
- GI: General Industrial
- MXU: Mixed Use
- UD: Urban Development
- PND: Planned Neighborhood Develop
- LC: Local Commercial
- HC: Highway Commercial
- GR: General Residential
- GR-A: General Residential A
- R-5: R5 Residential
- R-10: R10 Residential
- R-12: R12 Residential
- R-15: R15 Residential
- R-25: R25 Residential
- RT-8: RT-8 Residential
- TC: Transitional
- RC: Resource Conservation
- THCD: Tom Hall Corridor District

- 500ft Buffer off ROW
- Corridor Overlay District (COD-N)
- Pennies for Progress Fort Mill Southern Bypass Recommended Alternative
- Parcel Boundary
- Town Boundary
- Pending Annexation
- Water Bodies
- Historic District

- ### Road Classification
- Interstate Roads
 - Primary Roads
 - Secondary Roads
 - Railroads

Catawba Regional Council of Governments
County (Does not represent any liability or responsibility for damages that may arise from the use of this map. All efforts have been made to ensure accuracy.)



Unified Development Ordinance (UDO) Zoning Map Update

CURRENT			PROPOSED		
RESIDENTIAL DISTRICTS					
R-25	R-25 Residential	→	R-25	R-25 Residential	
R-15	R-15 Residential		R-15	R-15 Residential	
R-12	R-12 Residential	→			
R-10	R-10 Residential				
R-5	R-5 Residential	→	R-7	R-7 Residential	
RT-4	RT-4 Residential		RT-8	RT-8 Residential	
RT-8	RT-8 Residential	→			
RT-12	RT-12 Residential				
GR	General Residential	→	RM-15	RM-15 Residential	
GR-A	General Residential				
MHP	Mobile Home Park	X	----	ELIMINATED DISTRICT	
COMMERCIAL & INSTITUTIONAL DISTRICTS					
HC	Highway Commercial	→	GC	General Commercial	
LC	Local Commercial		DC	Downtown Core	
UD	Urban Development	→			
----	NEW DISTRICT	→	LC	Local Commercial ¹	
----	NEW DISTRICT	→	ROS	Recreation & Open Space ²	
TC	Transitional Commercial	X	----	ELIMINATED DISTRICT	
INDUSTRIAL DISTRICTS					
GI	General Industrial	→	LI	Light Industrial	
LI	Limited Industrial				
MIXED USE & PLANNED DEVELOPMENT DISTRICTS					
MXU	Mixed Use	→	CMU	Community Mixed Use	
----	NEW DISTRICT	→	NMU	Neighborhood Mixed Use	
----	NEW DISTRICT	→	TOMU	Transit Oriented Mixed Use	
PCD	Planned Cluster Development	X	----	ELIMINATED DISTRICT	
PND	Planned Neighborhood Dev.	X	----	ELIMINATED DISTRICT ³	
SHPD	Scenic Highway Planned Dev.	X	----	ELIMINATED DISTRICT	
OVERLAY DISTRICTS					
COD	Corridor Overlay	→	COD	Corridor Overlay	
COD-N	Corridor Overlay - Node	→	COD-N	Corridor Overlay - Node	
HPD	Historic Preservation	→	HPOD	Historic Preservation Overlay	
MID	Municipal Improvement District	X	----	ELIMINATED DISTRICT	
RC	Resource Conservation Overlay	X	----	ELIMINATED DISTRICT	
THCD	Tom Hall Street Corridor Overlay	X	----	ELIMINATED DISTRICT ¹	

¹ Areas zoned Highway Commercial (HC) within the Tom Hall Corridor Overlay District (THCD) to be re-zoned Local Commercial (LC).

² The Recreation & Open Space District (ROS) will apply to the ASC Greenway, as well as all parks, recreation facilities and golf courses.

³ Areas zoned Planned Neighborhood Development (PND) to be re-zoned to R-15 Residential (R-15).

STATE OF SOUTH CAROLINA
TOWN COUNCIL FOR THE TOWN OF FORT MILL
ORDINANCE NO. 2016-___

AN ORDINANCE ADOPTING A NEW ZONING MAP FOR THE TOWN OF FORT MILL

WHEREAS, pursuant to Section 6-29-710, et. seq., of the S.C. Code of Laws, the Fort Mill Town Council is authorized to adopt a zoning ordinance for the general purposes of guiding development in accordance with existing and future needs, and promoting the public health, safety, morals, convenience, order, appearance, prosperity, and general welfare; and

WHEREAS, on _____, 2016, the Town Council for the Town of Fort Mill adopted Ordinance No. 2016-___, entitled "An Ordinance Adopting a Unified Development Ordinance for the Town of Fort Mill;" and

WHEREAS, the Town of Fort Mill Unified Development Ordinance contained substantive changes to the town's zoning districts, including the creation of new zoning districts, the modification of existing zoning districts, and the elimination of certain zoning districts; and

WHEREAS, a new Zoning Map for the Town of Fort Mill was prepared by the Fort Mill Planning Commission pursuant to S.C. Code § 6-29-340(2)(a), which map was recommended for adoption by the Planning Commission during its regularly scheduled meeting on October 18, 2016; and

WHEREAS, public hearings on the new Zoning Map for the Town of Fort Mill were advertised and conducted on _____, 2016, and _____, 2016, pursuant to S.C. Code § 6-29-760(A), with public comment duly noted; and

WHEREAS, the Town Council for the Town of Fort Mill has determined that the new Zoning Map of the Town of Fort Mill, which is attached hereto as Exhibit A, is consistent with the Comprehensive Plan for the Town of Fort Mill, which was adopted on March 10, 2008 (Ordinance No. 2008-03), and subsequently amended on January 14, 2013 (Ordinance No. 2013-01), August 24, 2015 (Ordinance No. 2015-14), February 8, 2016 (Ordinance No. 2016-01) and May 23, 2016 (Ordinance No. 2016-13); and

WHEREAS, it is fitting and proper to amend the official Zoning Map of the Town of Fort Mill so as to implement the recommendations of the Comprehensive Plan for the Town of Fort Mill and the Unified Development Ordinance for the Town of Fort Mill;

NOW, THEREFORE, pursuant to the authority granted by the Constitution of the State of South Carolina and the General Assembly of the State of South Carolina, **BE IT ORDAINED BY THE TOWN COUNCIL FOR THE TOWN OF FORT MILL:**

Section I. The new Zoning Map of the Town of Fort Mill, attached hereto as Exhibit A, is hereby adopted. This map shall constitute the official Zoning Map of the Town of Fort Mill, and may, from time to time, be amended by the Town Council for the Town of Fort Mill, pursuant to, and as

authorized by, state statute. A copy of the official Zoning Map for the Town of Fort Mill shall be maintained on file in the Office of the Zoning Administrator.

Section II. Invocation of Pending Ordinance Doctrine. The pending ordinance doctrine, as defined and applied by the South Carolina Supreme Court in the case of *Sherman vs. Reavis* 273 S.C. 542, 257 S.E. 2d 735, and as adopted and applied by the state courts in other decisions, is hereby adopted and declared to be in full force and effect following first reading approval of this ordinance.

Section III. Severability. If any section, subsection, or clause of this Ordinance shall be deemed to be unconstitutional, or otherwise invalid, the validity of the remaining sections, subsections, and clauses shall not be affected thereby.

Section IV. Conflicting Ordinances Repealed. All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

Section V. Effective Date. This ordinance shall be effective from and after January 1, 2017

SIGNED AND SEALED this ____ day of _____, 2016, having been duly adopted by the Town Council for the Town of Fort Mill on the ____ day of _____, 2016.

First Reading:
Public Hearing #1:
Public Hearing #2:
Second Reading:

TOWN OF FORT MILL

Gynn H. Savage, Mayor

LEGAL REVIEW

ATTEST

Barron B. Mack, Jr, Town Attorney

Virginia C. Burgess, Town Clerk

Exhibit A

Town of Fort Mill Zoning Map

Town of Fort Mill Proposed Zoning Map

Revised: 10/10/2016

Zoning	
R-7	LC
R-25	RT-8
R-15	RM-15
	GC
	LI
	DC
	NMU
	CMU
	ROS

HPOD - Historic Preservation Overlay	Water Bodies
Town Boundary	Interstate Roads
Parcels	Primary Roads
	Secondary Roads
	Railroads



Data Sources: Catawba Regional Council of Governments
York County Planning Department
Projection: State Plane 1983 (Feet)
North American Datum 1983 South Carolina FIPD 3500 (Feet)
Map Produced By: Catawba Regional Council of Governments
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Catawba Regional Council of Governments
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